

**SOUTH PENINSULA HOSPITAL
REQUEST FOR PROPOSAL
PARKING LOT IMPROVEMENTS
Issued: August 20, 2026**

1. Overview

South Peninsula Hospital (SPH) is seeking proposals from qualified contractors for parking lot and associated site improvements at the South Peninsula Hospital campus in Homer, Alaska. The purpose of this Request for Proposal (RFP) is to solicit responses from competent and experienced contractors capable of completing the work in a safe, prompt, cost-effective, and efficient manner while maintaining hospital operations.

2. Inquiries

Questions regarding this RFP must be directed in writing to Harrison Smith at hsm@sphosp.org. All emails must identify the RFP title in the subject line, include the contact information for the person submitting the question, and indicate the relevant RFP section number. All questions must be received no later than 5:00pm Alaska Time, September 10, 2026.

SPH will review the submitted questions and respond to all inquiries in writing by replying via email to all inquirers and interested Vendors. Emails will provide every question received and each accompanying response. This will ensure all potential Vendors receive the same information.

3. Background Information

SPH is a full-service hospital serving the Southern Kenai Peninsula, licensed for 22 medical beds and 28 nursing home beds, primarily located at 4300 Bartlett St., Homer, AK 99603, with various satellite locations located within close proximity to the hospital. .

4. Parties

For purposes of this RFP process and any subsequent agreement, the Parties are defined as:

4.1 South Peninsula Hospital (SPH)

4.2 Vendor - the Vendor is an independent contractor and represents that contractor is fully qualified to complete the Scope of Work set out under any subsequent agreement.

5. Proposal Submission Requirements

All Vendors interested in submitting a proposal in response to this RFP must adhere to the following requirements. Failure to do so may result in SPH deeming the proposal to be non-responsive and therefore not eligible for consideration.

5.1 Proposal Submittal Items

Vendors must only submit one proposal, follow the format outlined below, and Clearly identify each of the following four criteria within the submittal.

- a) **Cover Letter** – submit a cover letter on company letterhead that includes the following:
 - 1. The company's legal name and contact information.
 - 2. An overview of the company's qualifications and experience relevant to the scope of work defined herein.
 - 3. The letter must be signed by an authorized company representative and include that person's contact information.
- b) **Scope of Work** – submit a written, detailed description of how Section 6 Scope of Work will be accomplished, addressing all items of relevance within that requirement. Please refrain from using marketing material in this part of the proposal.
- c) **Price** – submit a written price proposal to provide the good(s) or service(s) as specified herein. The proposed price must include all of the Vendor's costs associated with providing the good(s) and/or service(s) as called for within this RFP and including, but not limited to, wages, administrative overhead, equipment, materials, travel, transportation, lodging, and other similar costs unless stated otherwise. No other costs will be considered for payment.
- d) **Construction Schedule** – provide a proposed schedule showing mobilization, major work phases, and substantial completion.
- e) **Project Approach** – describe construction phasing, traffic control, maintenance of hospital access, safety, and measures to minimize disruption to hospital operations.
- f) **Qualifications and References** – provide Alaska contractor license information, proposed project manager and superintendent, proposed major subcontractors, and at least three references for comparable civil/site, paving, or retaining-wall projects.
- g) **Assumptions and Exceptions** – clearly identify all assumptions, exclusions, allowances, exceptions, and proposed substitutions.

All proposals will become the property of SPH and may be returned only at the option of SPH. Any information marked as proprietary or confidential will be held in confidence to the greatest extent possible.

5.2 Walk-Through

Vendors are **required** to schedule a pre-bid site walk-through prior to submission. Walk-throughs may be scheduled with the Facility Manager, Harrison Smith, by emailing hsm@sphosp.org. Vendors are responsible for examining site access, grades, existing pavement, utilities, easements, retaining-wall conditions, staging limitations, and other conditions that may affect the Work.

5.3 Proposal Submission Deadline

To be considered, a complete proposal package must be received by SPH by the deadline via either of the following methods:

a) Hand delivered or mailed to: South Peninsula Hospital

Attention: Harrison Smith
4300 Bartlett St.
Homer, AK 99603

b) Electronically transmitted to: hsm@sphosp.org

The deadline for submission is 5:00 PM Alaska Time, September 11, 2026. Any proposals received after the deadline may not be accepted. Proposals sent via email should be sent as a single PDF document, with the RFP title noted in the subject line.

5.4 Proposal Preparation Cost

SPH shall not be responsible for any costs associated with preparing and/or submitting a proposal in response to this RFP, in any manner or for any reason.

5.5 Proposal Validity

A Vendor's price proposal will remain valid for ninety (90) calendar days from the RFP submission deadline or until an award is made to the successful Vendor, whichever is sooner. No price proposal will be accepted if marked "price prevailing at time of delivery," "estimated price," or something similar. All price proposals must be in US dollars.

6. Scope of Work

6.1 Project Intent

Provide all labor, supervision, equipment, materials, transportation, mobilization, temporary facilities, traffic control, testing, permits assigned to the Contractor, disposal, cleanup, and incidental work necessary to construct complete and functional parking lot and associated site improvements.

6.2 Contract Documents and Existing Conditions

Review and field-verify project drawings, survey information, dimensions, elevations, pavement limits, drainage patterns, structures, utilities, light poles, property boundaries, easements, and other existing features before beginning work. The current Stantec parking improvement concept and 2025 Peninsula Surveying west-boundary survey define the current project area and existing conditions. Historical SPH civil drawings are reference details only unless specifically incorporated into the final contract documents.

6.3 Surveying and Construction Layout

Provide construction staking and layout using survey control information supplied by SPH. Protect existing survey monuments and control points and replace any control disturbed by Contractor operations.

6.4 Mobilization, Clearing, Demolition and Site Preparation

Mobilize and demobilize; provide temporary controls, barricades, fencing, erosion/sediment protection, clearing and grubbing; remove or modify pavement, aggregate, curb, concrete, vegetation, and other improvements necessary for construction; protect improvements designated to remain; and legally dispose of demolition debris and unsuitable material.

6.5 Excavation, Earthwork and Subgrade

Perform excavation, grading, filling, dewatering, and compaction required for parking, retaining-wall, drainage, and related improvements. Remove unsuitable or organic material from structural areas and replace with approved material. Place fill in controlled lifts and compact as required. Proof-roll parking subgrade and correct unstable areas before aggregate placement.

6.6 Retaining Wall

Construct the proposed northwest parking retaining wall generally from Station 0+00 through approximately Station 1+46 as shown on the current Stantec concept. Include excavation, foundation preparation, leveling/base material, wall system, geogrid/geosynthetic reinforcement where required, granular drainage material, drainage piping/outlets, backfill, compaction, caps, finish grading, and restoration. The wall system shall be suitable for site soils, vehicle surcharge, freeze-thaw exposure, drainage conditions, and final geometry. Where delegated engineering is required, provide calculations and shop drawings sealed by an engineer licensed in the State of Alaska.

6.7 Aggregate Base and Asphalt Pavement

Prepare subgrade to required lines and grades; install separation geotextile where required; place and compact structural fill and leveling course; and provide asphalt paving including final grading, tack coat at existing pavement interfaces, sawcutting for clean transitions, placement, and compaction. Completed pavement shall drain positively without unacceptable depressions or standing water. Historical civil drawings depict a 2-inch asphalt pavement over a 2-inch leveling course in applicable areas; the proposer shall clearly state the pavement section included in its price and identify any recommended alternative.

6.8 Concrete, Curbs and Pedestrian Improvements

Provide concrete curb/gutter, sidewalk, apron, curb ramp, light-pole/equipment pads, and transitions where indicated by the final design. Provide reinforcement, expansion/control joints, finishing, curing, and ADA-compliant work where applicable.

6.9 Drainage

Maintain positive drainage during and after construction. Provide retaining-wall drainage and other drainage improvements required by the final design. Protect existing drainage infrastructure and adjust affected structures to finished grade where required. Do not create drainage conditions that adversely affect hospital buildings, adjacent parking, neighboring properties, sidewalks, or roadways.

6.10 Utilities and Lighting

Obtain utility locates before excavation and verify utilities within the work area. Protect known and unknown utilities. Stop work and notify SPH upon discovery of an undocumented utility or conflict. Coordinate installation, relocation, or protection of parking-lot lighting as required. The current concept identifies an existing light and a proposed new light. No utility shutdown affecting hospital operations may occur without advance coordination and written authorization from SPH.

6.11 Striping, Signage and Restoration

Provide parking-space striping, traffic markings, accessible parking markings/signage, and other signage according to the approved layout. Restore all areas disturbed by construction, including pavement, concrete, aggregate, landscaping, drainage, utilities, lighting, and other improvements designated to remain.

6.12 Hospital Operations, Access and Safety

SPH will remain fully operational throughout construction. Maintain emergency vehicle and ambulance access, fire department access/fire lanes, safe patient/visitor/employee access, and loading/service access unless specifically approved otherwise. Provide safe temporary pedestrian routes, barricades, fencing, signs, and traffic control. Coordinate closures in advance and control dust, mud, noise, debris, and tracking onto active hospital roads and walkways.

6.13 Traffic Control and Construction Phasing

Before construction, submit a traffic-control and phasing plan identifying construction limits, major phases, parking areas temporarily removed from service, vehicle and pedestrian routing, emergency access, material/equipment staging, temporary closures, and measures for separating the public from construction activities. SPH may require reasonable sequencing changes to maintain hospital operations.

6.14 Quality Control and Testing

Provide testing required by the final specifications and applicable codes, which may include subgrade, structural fill and aggregate-base compaction; asphalt density/thickness; concrete testing; and retaining-wall backfill compaction. Correct and retest failed work at Contractor expense unless otherwise provided by the contract documents.

6.15 Permits, Submittals and Regulatory Compliance

Perform work in accordance with applicable federal, State of Alaska, and City of Homer requirements. Obtain permits and coordinate inspections assigned to the Contractor. Submit construction schedule, traffic-control/phasing plan, retaining-wall product data and engineered shop drawings where required, aggregate/fill data, asphalt mix information, concrete mix information, lighting/electrical product information where applicable, and testing reports.

6.16 Schedule and Closeout

Provide a realistic construction schedule showing mobilization, site preparation, retaining-wall construction, earthwork, drainage/utility work, aggregate placement, concrete, paving, lighting, striping, restoration, and substantial completion. At closeout, complete punch-list work; remove temporary facilities and debris; restore disturbed areas; submit final testing documentation, warranties, product information, and record/as-built information for significant installed improvements and utility changes; and obtain final inspections assigned to the Contractor.

7. General Requirements

7.1 Term of Service

Any subsequent agreement resulting from this RFP shall be effective from the date of execution of the agreement through the end of the agreement term.

7.2 Termination

Any subsequent agreement resulting from this RFP shall terminate at the end of the agreement term, unless terminated earlier as provided:

a) Termination for Default. Either party may terminate any agreement in the event of a material default by the other party, provided the defaulting party is first given notice of the default and an opportunity to cure. The period to cure a monetary default shall be at least **thirty (30)** days from receipt of the notice of default, and the period to cure a non-monetary default shall be at least **thirty (30)** days from receipt of the notice of default.

b) Termination for Non-Performance. If SPH determines the Vendor has refused to provide the service or has failed to provide the service with such diligence as to ensure its successful and prompt completion, SPH may, by providing written notice to the Vendor, terminate any agreement.

c) Procedures after Termination. Upon termination for Default or Non-Performance, Vendor shall provide SPH with a detailed invoice of all current charges up to the date of termination. Upon approval of the invoice, SPH shall pay Vendor for charges up to the date of termination.

7.3 RFP Modification

SPH reserves the right to:

- a) Modify or otherwise alter any or all of the requirements herein. In the event of a modification, Vendors will be given an equal opportunity to modify their proposals as identified in writing by SPH.
- b) Reject any proposal not adhering to the requirements set forth within this RFP, either in whole or in part.
- c) Reject any or all proposals received.
- d) Terminate this RFP at any time, without reason.

7.4 Order of Precedence in the Event of a Conflict

All terms and conditions herein shall be incorporated into the award along with the Vendor's proposal. Any change to any subsequent agreement must be through a written amendment agreed upon by both Parties.

7.5 Independent Vendor Relationship

The Parties agree and understand that in the performance of services under any subsequent agreement, the Vendor is an independent contractor and not an employee of South Peninsula Hospital. The Parties do not intend to create, nor shall a subsequent agreement be deemed or construed to create an employment relationship between the Parties. Vendor is responsible for, at his or her own expense, demonstrating proof of licensure for any required licenses, insurance, and for the payment of federal, state and local taxes or fees necessary or attributable to the services being provided.

7.6 Operating Standards

For the duration of the proposal period and any subsequent agreement, both Parties will: comply with all applicable local, state, and federal regulations, comply with the requirements of the agreement; and work in a manner that is ethical and respectful. During the term of the agreement, the Parties shall comply with any changes to applicable local, state or federal regulations as well as changes to the agreement as agreed upon by amendment.

Additionally, Vendor has not been and will not be charged with, convicted of, or plead "guilty," "no contest," or "nolo contendere" to any crime that would disqualify Vendor from performing services under an agreement pursuant to the Alaska Barrier Crimes Act, AS 47.05.300 et seq., and the associated regulations, 7 AAC 10.010 et seq.; and

Vendor certifies he or she is not on a Federal exclusion list, including the Office of Inspector General's Exclusion Database.

7.7 Subcontracting

The Vendor must disclose to SPH the use and identity of all subcontractors it uses in carrying out the requirements herein. SPH reserves the right to approve all subcontractors if it so chooses. The Vendor is solely responsible for the satisfactory performance of and compensation to any and all subcontractors.

7.8 Insurance

The Vendor shall have, maintain, and provide proof of Commercial General Liability Insurance, with coverages of \$1,000,000 each occurrence and \$3,000,000 in aggregate, and Workman's Compensation Insurance, in addition to any applicable insurance required by the State of Alaska. The Vendor must provide SPH with proof of the insurance required herein, with SPH as additional insured. The Vendor shall be financially responsible for all deductibles, costs, and self-insured retention's and/or self-insurance required herein.

7.9 Ownership of Work Product

To the extent a proposal or agreement requires the Vendor to produce goods, tangible objects or original intellectual property of any kind, including but not limited to written reports, memoranda, documents, files, medical records, and other documents and files, including graphs, charts, plans, illustrations, artwork, photographs, video recordings or audio recordings of any kind, regardless of the medium in which such products are recorded (print or electronic), all ownership and copyright interests in such work product shall belong to South Peninsula Hospital.

7.10 Records

Vendor shall retain all books, documents, records and other material relevant to this RFP or any subsequent agreement, including any and all appendices, for a period of not less than **three (3)** years following the expiration or termination of the proposal period or any subsequent agreement term.

7.11 Indemnification

Except in the case of the sole negligence or willful misconduct of SPH, the Vendor shall indemnify, defend and hold harmless SPH, and SPH's officers, agents, and employees from and against any and all liability, claims, damages, losses, expenses, actions, attorney fees and costs and lawsuits whatsoever (including without limitation all claims involving damage to real or personal property, civil rights claims, or claims of infringement of a patent, copyright, trade secret or trademark) caused by or arising out of the performance, acts, or omissions under this RFP by the Vendor or any of its officers, agents, representatives, employees or subcontractors, or arising from or related to a failure to comply with the requirements herein, and/or applicable state or federal statute, law, regulation, or rule.

7.12 Dispute Resolution

The Parties agree to enter into good faith negotiations to resolve any disputes that arise out of or relate to this RFP or any subsequent agreement. If such a dispute cannot be settled through negotiation, the Parties agree to the following:

- a) **Notice of Dispute.** The Parties shall attempt to resolve any dispute, claim or controversy arising under, out of or in connection with an agreement (a "Dispute") amicably. In no event shall any Party commence any judicial or arbitral proceeding against another Party without first providing to the other Party to the Dispute written notice of the Dispute with sufficient detail, including reference to the

contractual provisions at issue, to allow the other Party to evaluate the dispute and negotiate its resolution.

- b) **Executive Escalation.** Upon receipt of a Notice of Dispute, the Dispute will be referred to the executive management representatives designated by each Party (“Executive Escalation”). Such representatives shall meet in person or by telephone (including videoconference) and in good faith attempt to settle the Dispute.
- c) **Binding Arbitration.** If the Dispute has not been resolved by Executive Escalation for any reason (including a refusal by one or more Parties to participate in negotiations and discussions), within **ninety (90)** days (which timeframe may be extended as mutually agreed by the Parties) of receipt of a notice of Dispute, either Party may refer the Dispute to final and binding arbitration administered under the commercial rules of the American Arbitration Association (“AAA”), including its expedited procedures, except as modified herein, by sending a written notice of its intent to arbitrate to the other Party, (the “Notice of Arbitration”). The place of arbitration shall be in Homer, Alaska.

7.13 Confidentiality

The Vendor agrees and understands that all information relating to the business of SPH, including but not limited to financial information, employee and personnel information, that Vendor learns during the course of gathering or providing information pertaining to this RFP or services under the terms of any subsequent agreement are confidential information belonging to SPH and not to Vendor. Vendor agrees not to divulge, disclose or communicate any information relating to the business of SPH learned or gained during the course of providing a proposal or services, directly or indirectly, to any person, Vendor or corporation, without the express written consent of SPH.

7.14 Entire Agreement

The Parties agree that any subsequent agreement will contain the entire agreement between the Parties with regard to services and any subsequent agreement will supersede any prior agreement, written or oral, between them with regard to these services. The Parties acknowledge they will have ample opportunity to review the terms of any subsequent agreement and consult with legal counsel if so desired.

7.15 Extension, Modifications, and Amendment

Any subsequent agreement may be extended, modified or amended only by the written agreement of the Parties.

7.16 Severability

If any part of any subsequent agreement is found to be invalid, that provision shall be interpreted to the fullest extent possible so as to be valid and effective, and the remaining provisions of any subsequent agreement shall continue in full force and effect.

7.17 Waiver

A Party's non-enforcement of any provision of any subsequent agreement shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of any subsequent agreement.

7.18 Notices

Notices under any subsequent agreement shall be in writing, and may be delivered in person, by mail or by facsimile email to the addresses provided.

7.19 No Assignment

Vendor's services to be rendered under a subsequent agreement are unique and personal. Accordingly, Vendor may not assign any subsequent agreement or any of Vendor's duties and responsibilities under any subsequent agreement to any other person or entity without the express, prior written consent of SPH.

8. Price and Payment

8.1 Proposal Price

The Vendor must submit a written price proposal to provide the good(s) and/or service(s) as specified herein. The proposed price must include all of the Vendor's costs associated with providing the good(s) and/or service(s) as called for within this RFP and including, but not limited to, wages, administrative overhead equipment, materials, travel, transportation, lodging, and other similar costs unless stated otherwise. No other costs will be considered for payment.

8.2 Payment

The Vendor shall be paid for actual work completed in accordance with the requirements herein and the accepted price proposal. The total amount to be paid to the Vendor shall not exceed the Vendor's quoted amount, unless otherwise specifically agreed to in advance with supporting justification and in writing by both parties.

Payment to the Vendor is contingent on the Vendor delivering a bill or invoice to the SPH on a monthly basis. SPH retains the right to require additional documentation to support the submitted invoice. SPH will provide payment to the Vendor within 30 calendar days of acceptance of the invoice.

8.3 Alternates / Value Engineering

SPH may add, delete, or revise alternates by addendum. Vendors may identify voluntary value-engineering alternatives separately without modifying the Base Bid.

9. Conflict of Interests

The Vendor certifies that to the best of their knowledge there is no conflict of interest involving a SPH official or employee, including:

- A. No SPH employee's immediate family member has an ownership interest in Vendor's company or is deriving personal financial gain from a subsequent agreement.
- B. No SPH official or employee's immediate family member has an ownership interest in Vendor's company or is deriving personal financial gain from this contract.
- C. No retired or separated SPH official or employee who has been retired or separated from the organization for less than one (1) year has an ownership interest in Vendor's company.
- D. No SPH official or employee is contemporaneously employed or prospectively to be employed with the Vendor.
- E. Vendor hereby declares it has not and will not provide gifts or hospitality of any dollar value or any other gratuities to any SPH official or employee to obtain or maintain an Agreement or similar contract.

Vendor must disclose any relationship with any SPH official or employee.

10. Evaluation and Selection

Proposals will be evaluated by SPH staff based upon the responsiveness to the submission requirements described in Section 6, and in any other manner deemed appropriate by SPH to determine the proposal most advantageous to SPH, including at least three references for similar projects and/or experiences in Alaska, as well as information pertaining to key personnel and equipment.

SPH reserves the right to waive informalities and minor inaccuracies. SPH reserves the right to reject any and/or all proposals which it deems to be not in the best interests of SPH and to proceed with the next proposer or to utilize an entirely different process at any time during the process.

10.1 Evaluation Process

- a) A committee of individuals representing SPH will perform evaluations of the proposals.
- b) SPH reserves the right to award a contract solely on the written proposal.
- c) SPH also reserves the right to request oral interviews with the highest ranked Vendors (short-list). The purpose of the interviews with the highest ranked Vendors is to allow expansion upon, and possible refinement of, the written responses.
- d) If interviews are conducted, a maximum of five (5) Vendors will be short-listed. A second score sheet will be used to score those Vendors interviewed.
- e) The final recommendation for selection will be based on the total of all evaluators scores achieved on the second rating. The same categories and point ranges will be used during the second evaluation as for the first.

The evaluation committee will forward a recommendation for contract award based on points awarded. The Vendor, whose proposal is ranked highest, may be invited to enter into final negotiations with SPH for the purposes of contract award.

For this construction project, SPH may consider the Vendor's demonstrated experience with comparable civil/site work, retaining walls and paving; Alaska experience; key personnel and subcontractors; available equipment/resources; construction methodology; schedule; approach to maintaining hospital operations and emergency access; references; and total cost.

10.2 Criteria

The criteria to consider during evaluations, and the associated point values, are as follows:

1.	Experience/Qualifications	20 points
2.	Quality of Written Proposal	10 points
3.	Key Staff/Sub-consultants	10 points
4.	Available Resources	10 points
6	Project Methodology/ Approach	20 points
7.	Cost	<u>30 points</u>

10.3 Selection Process

The Vendor with the highest total evaluation points may be invited to enter into contract negotiations with SPH. If an agreement cannot be reached with the highest ranked Vendor, SPH shall notify the Vendor and terminate the negotiations. If proposals submitted by one or more other Vendors are determined to be qualified, negotiations may then be conducted with such other Vendors in the order of their respective rankings. This process may continue until successful negotiations are achieved. SPH reserves the right to reject any and all proposals submitted

APPENDIX A – PROJECT DOCUMENT REGISTER

The following documents are intended to accompany or inform this solicitation as applicable:

- RETAINING-WALL-PROFILES-C.pdf
- Civil_95% Full Size.pdf
- 3 LTC Architectural elevation.pdf
- SPH DESIGN SURVEY WEST BOUNDARY 2025-10-16.pdf



The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Consultant

Notes

Revision	By	Appd	YYYY.MM.DD
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			2025.03.24
Issued	By	Appd	YYYY.MM.DD
File Name: RETAINING-WALL-PROFILES			2025.06.25
	Dwn.	Disn.	Chkd.
			YYYY.MM.DD

Permit/Seal

Client/Project Logo

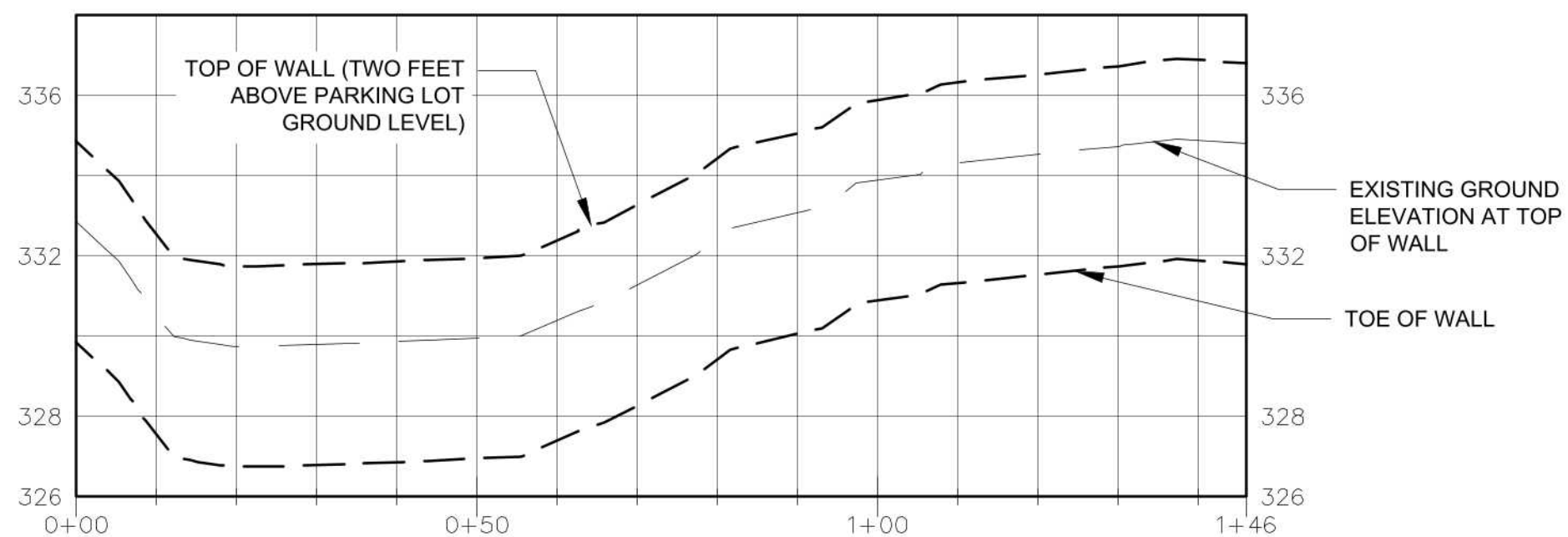
Client/Project
SOUTH PENINSULA HOSPITAL
PARKING IMPROVEMENT CONCEPT

4300 Bartlett St, Homer, AK 99603

Title

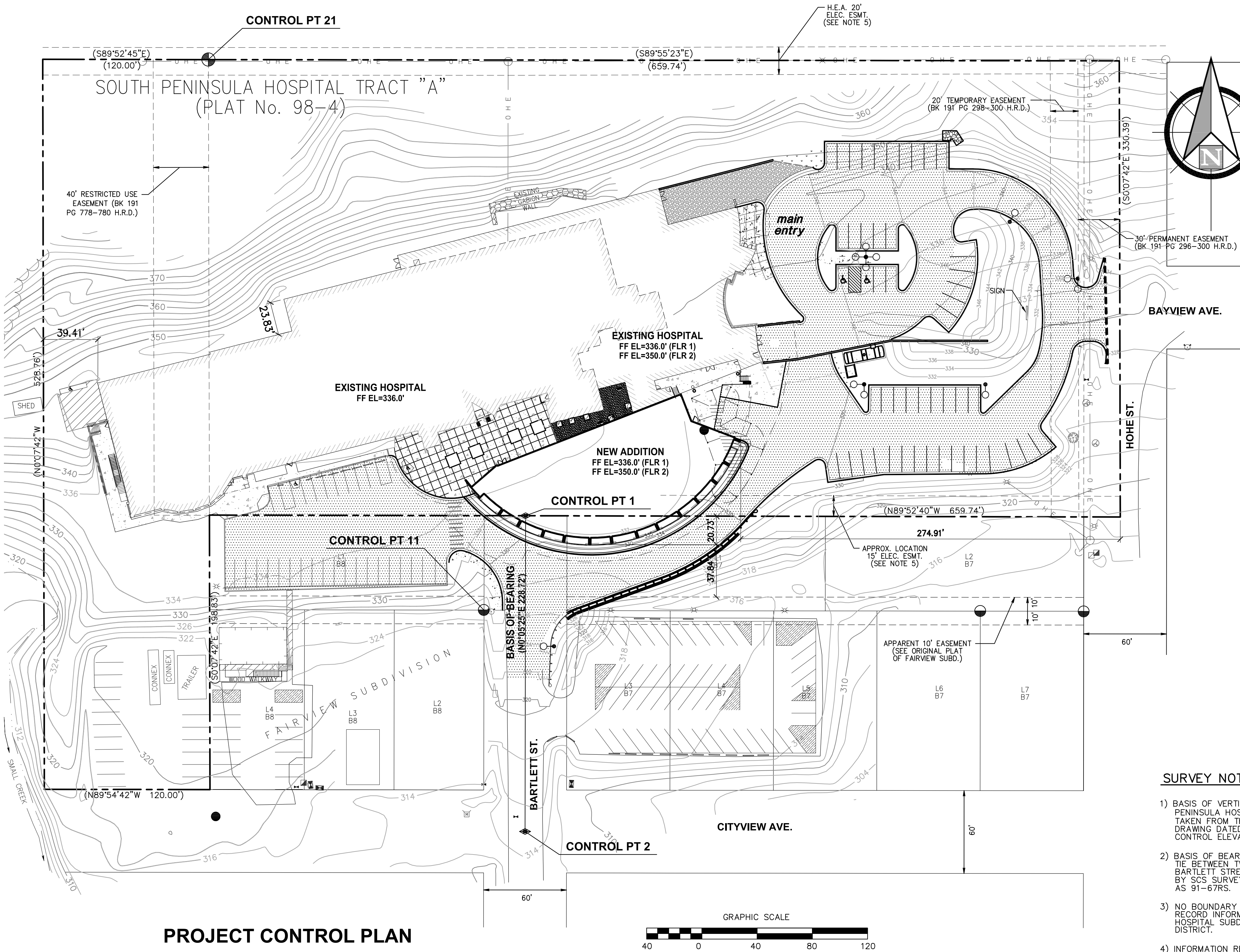
ENTRANCE C
RETAINING WALL

Project No. 2014357117		Scale 1"=20'
Revision	Sheet of	Drawing No.



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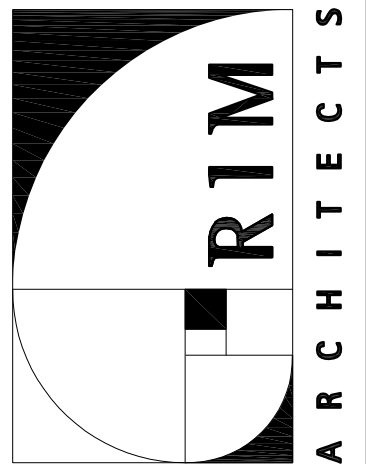


PROJECT CONTROL					
POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION	NOTES
1	10000.000	10000.000	332.12±	FOUND RAILROAD SPIKE	SPIKE LIKELY DESTROYED DURING PHASE 1 CONSTRUCTION
2	9771.280	9999.640	315.05±	FOUND RAILROAD SPIKE	
11	9931.727	9969.730	325.24±	FOUND 2" ALUMINUM CAP	
21	10330.434	9770.244	409.06±	FOUND BRASS CAP MONUMENT	

* SEE NOTES 1 & 2 FOR VERTICAL DATUM AND BASIS OF BEARING INFORMATION.



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Anchorage, Alaska 99505
Phone: 907.561.1011
Fax: 907.561.4220
www.rimarchitects.com



SOUTH PENINSULA HOSPITAL
EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
PROJECT CONTROL

Revisions

Date 12/15/06

Drawn WRJ

Checked DTK

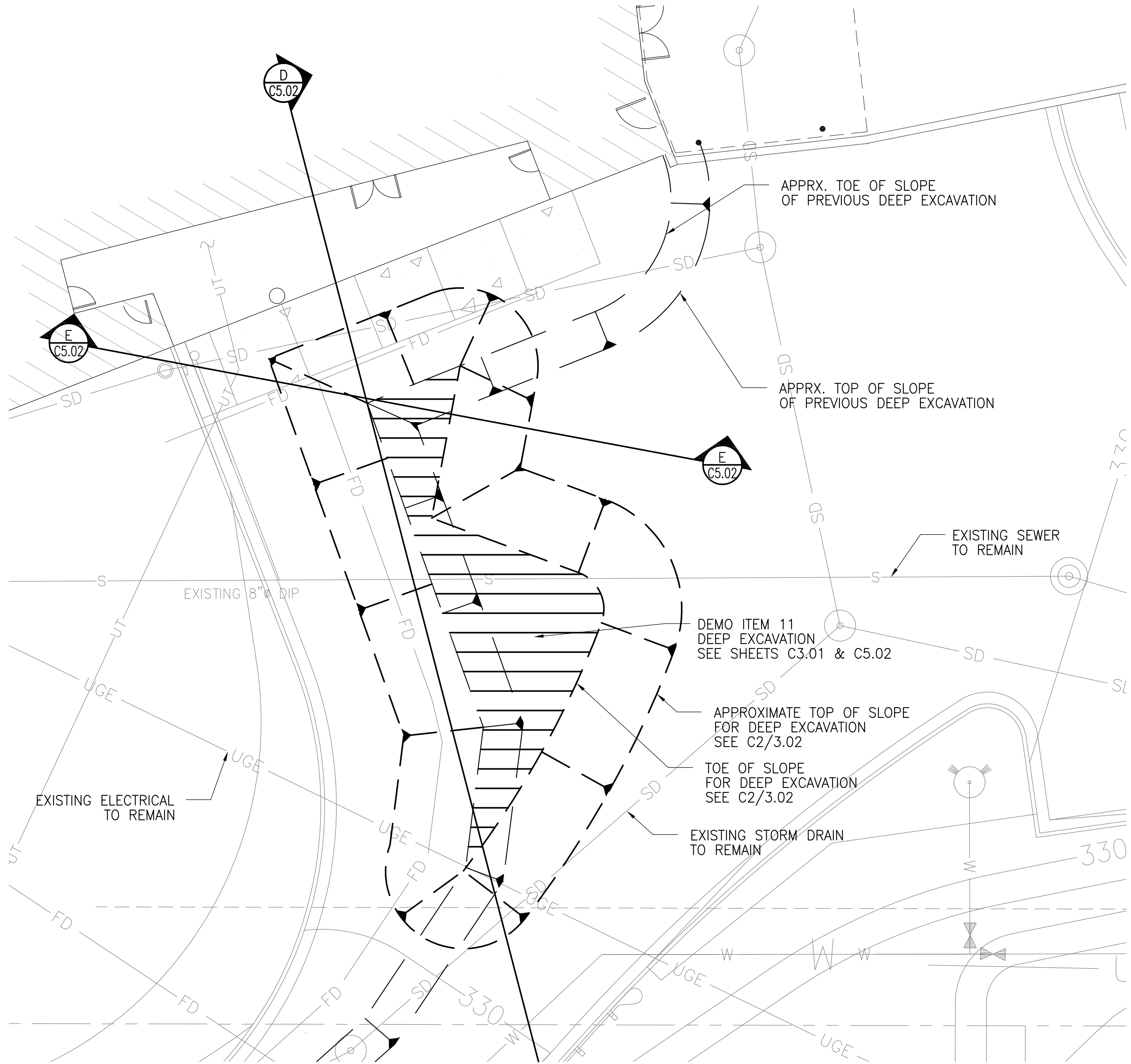
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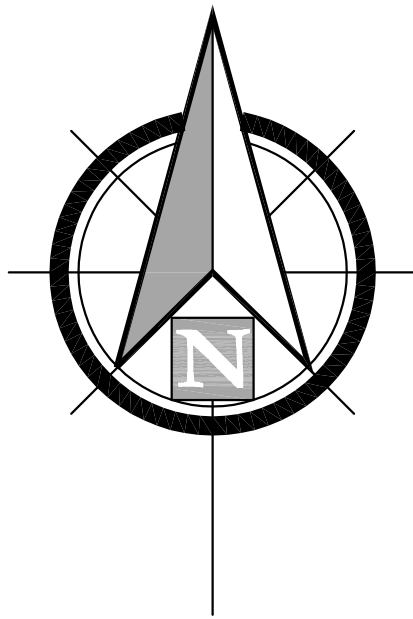
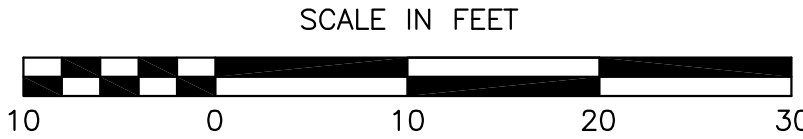
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DEEP EXCVATION PLAN



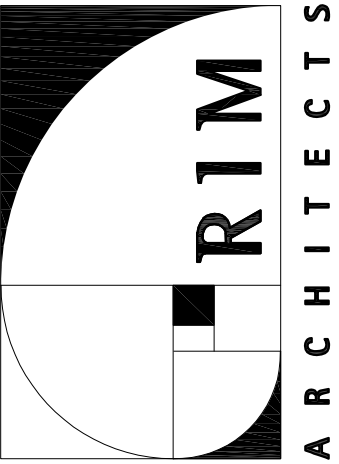
SHEET NOTES:

1. COORDINATE ITEMS TO BE RELOCATED WITH OWNER.
2. REFER TO BORING LOGS IN THE GEOTECHNICAL REPORT FOR ASPHALT THICKNESSES. NOTE: GEOTECHNICAL REPORT REFLECTED CONDITIONS PRIOR TO PHASE 1 WORK (DONE BY OTHERS).
3. PROPOSED UTILITIES NOT SHOWN FOR CLARITY.
4. SEE DEMOLITION SHEET FOR OTHER ITEMS TO BE DEMOLISHED.
5. SEE SITE PLAN FOR FINISHED SURFACES AND SITE GRADING.

CAUTION!!
UNDERGROUND UTILITIES
OBTAIN UTILITY LOCATES
PRIOR TO DIGGING



1506 West 34th Avenue
Anchorage, Alaska 99505
Phone: 907.541.1111
Fax: 907.541.4220
www.rimengineers.com



SOUTH PENINSULA HOSPITAL
EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
DEEP EXCAVATION PLAN

Revisions

Date 12/15/06
Drawn WRJ
Checked DTK
Job No. 03117.02

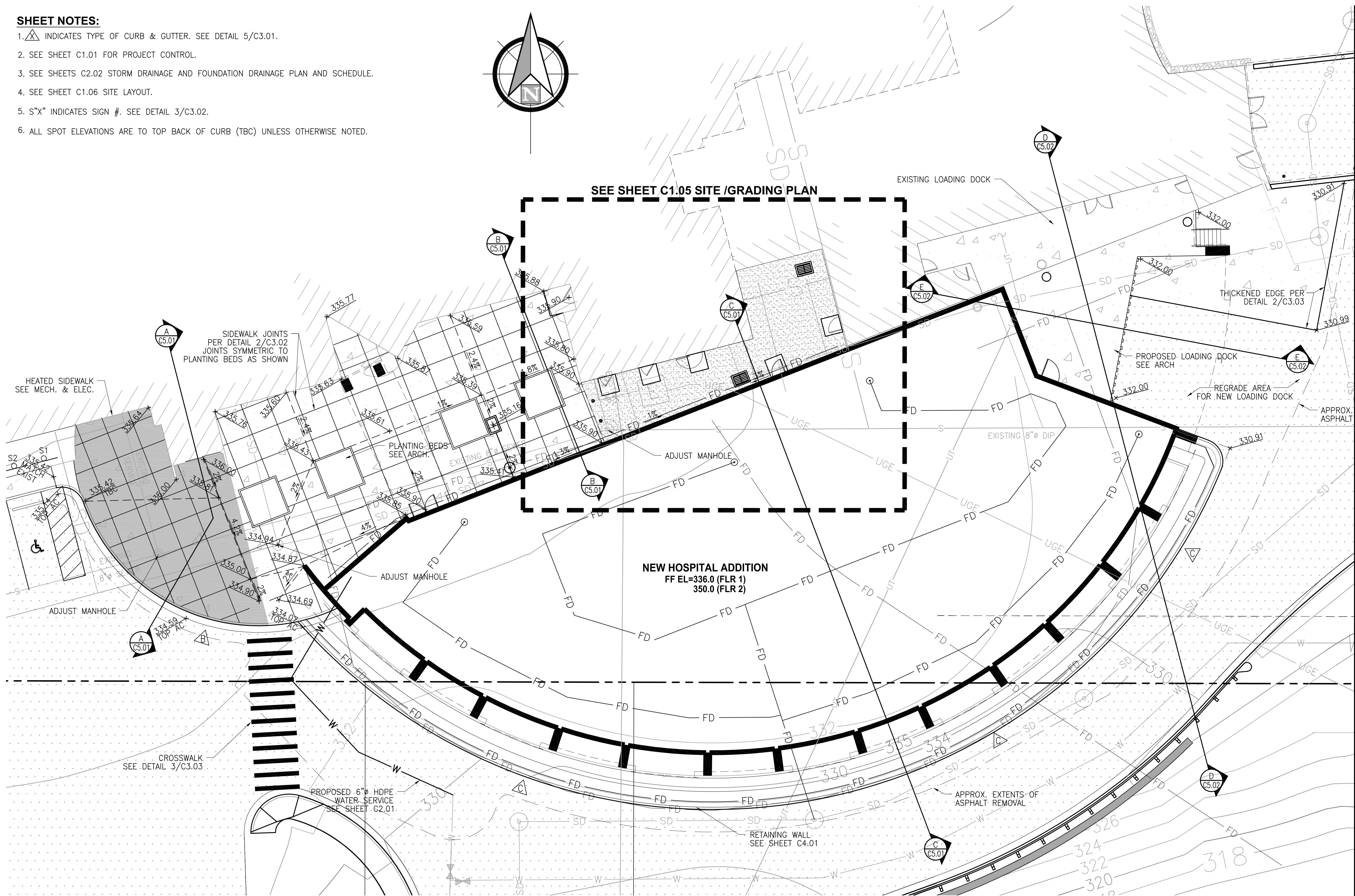
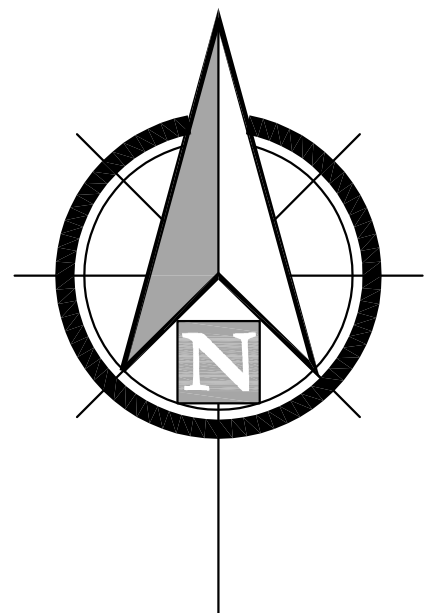
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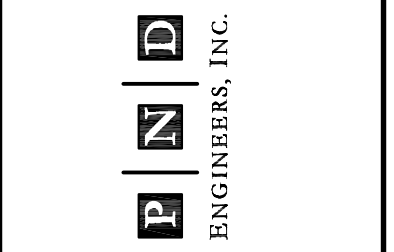
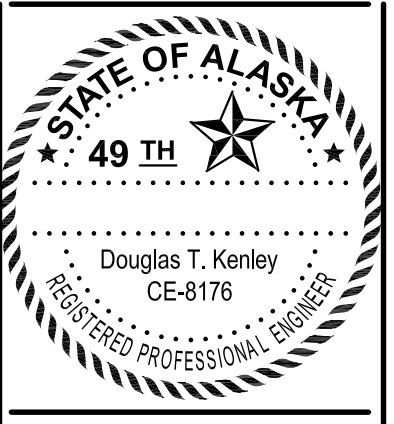
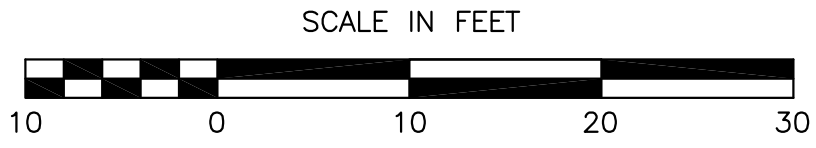
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SHEET NOTES:

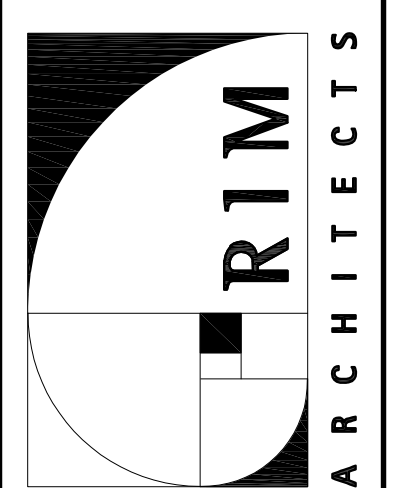
- 1.  INDICATES TYPE OF CURB & GUTTER. SEE DETAIL 5/C3.01.
- 2. SEE SHEET C1.01 FOR PROJECT CONTROL.
- 3. SEE SHEETS C2.02 STORM DRAINAGE AND FOUNDATION DRAINAGE PLAN AND SCHEDULE.
- 4. SEE SHEET C1.06 SITE LAYOUT.
- 5. S"x" INDICATES SIGN #. SEE DETAIL 3/C3.02.
- 6. ALL SPOT ELEVATIONS ARE TO TOP BACK OF CURB (TBC) UNLESS OTHERWISE NOTED.



SITE/GRADING PLAN



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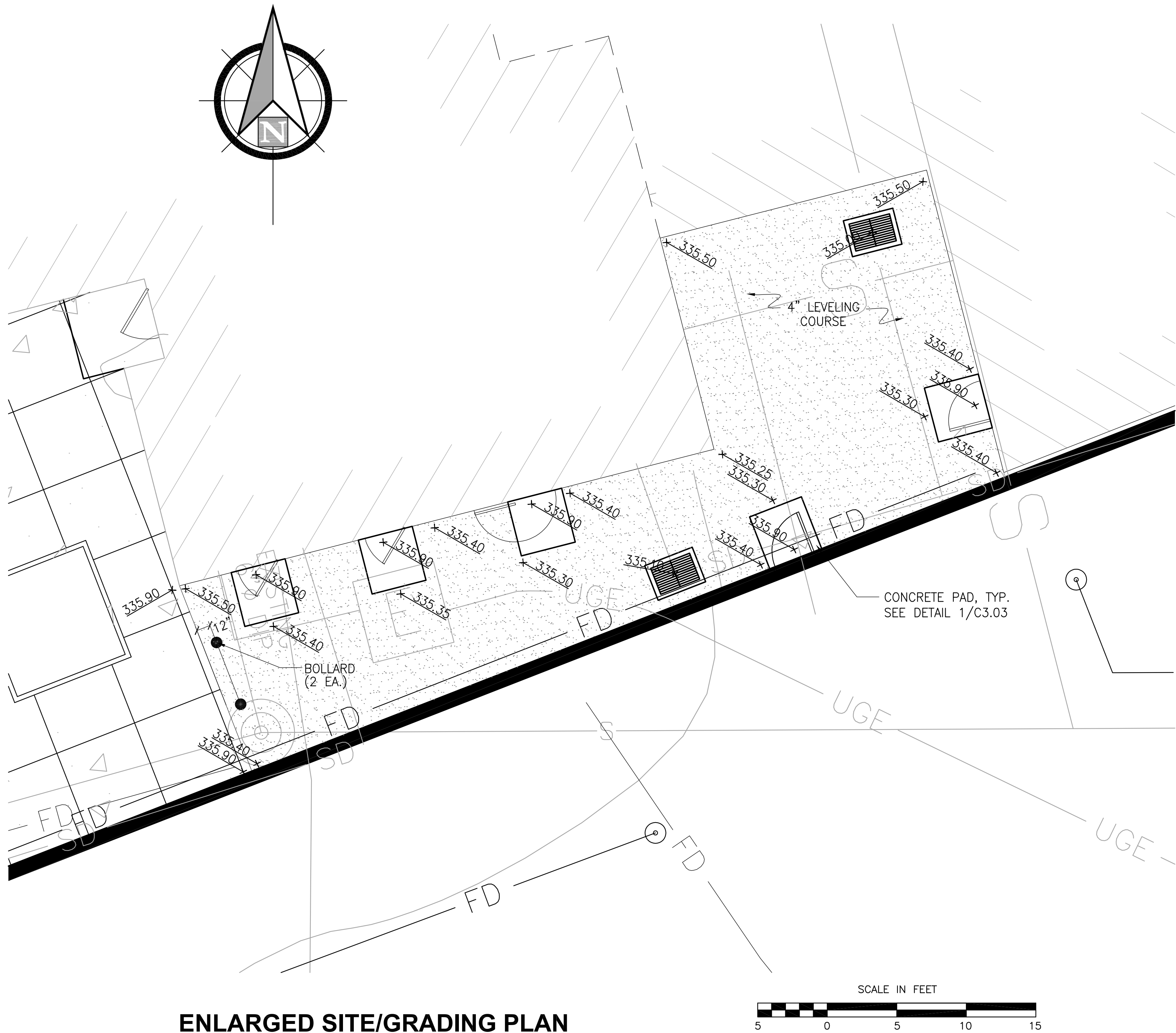


SOUTH PENINSULA HOSPITAL
EAST ADDITION AND ALTERATIONS — PHASE 2
HOMER, ALASKA
SITE / GRADING PLAN

Revisions	
Date	12/15/06
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Checked	DTK
Job No.	03117.02
Sheet No.	C1.04

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HOMER, ALASKA

SITE / GRADING PLAN

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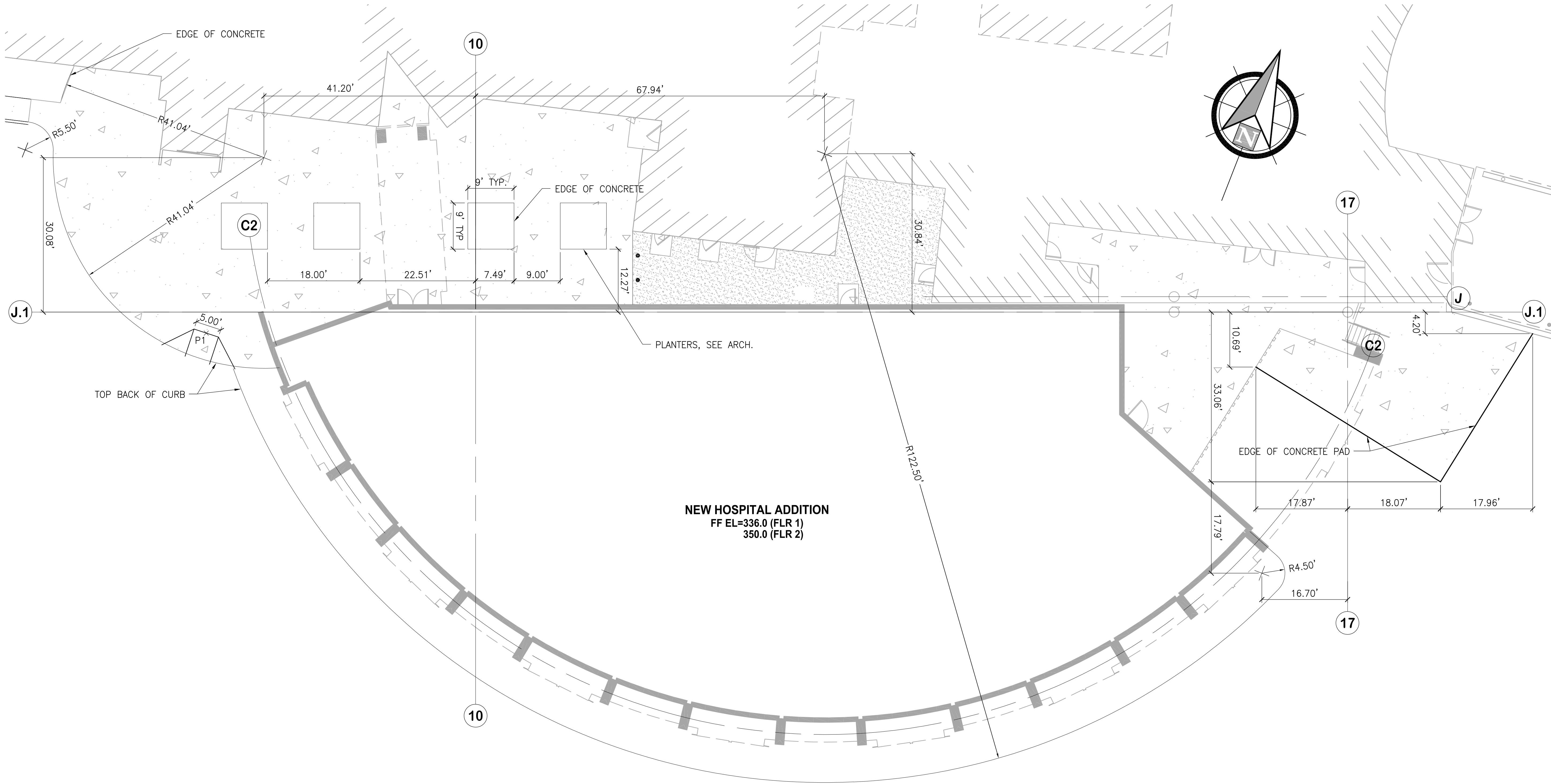
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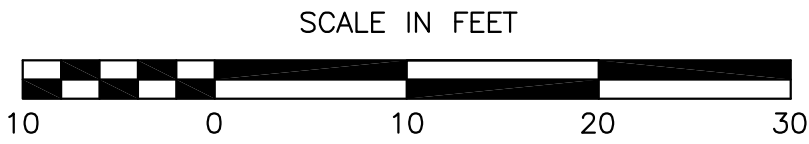
C1.05

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SITE LAYOUT PLAN



POINT TABLE			
POINT NUMBER	NORTHING	EASTING	DESCRIPTION
P1	10018.14	9948.10	TOP OF RAMP

- SHEET NOTES:**
- SEE SHEETS C1.03 FOR SITE & GRADING PLAN.
 - SEE SHEETS C4.01 FOR RETAINING WALL LAYOUTS.
 - SEE MECHANICAL FOR SEWER SERVICE PLANS.
 - SEE SHEET C2.01 FOR WATER SERVICE PLANS.
 - SEE SHEET C2.02 FOR STORM DRAINAGE AND FOUNDATION DRAINAGE PLAN AND SCHEDULES.
 - CONTROL JOINTS SYMMETRIC ABOUT PLANTER(S) AS SHOWN ON SHEET C1.04.

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HOMER, ALASKA

SITE LAYOUT PLAN

Revisions

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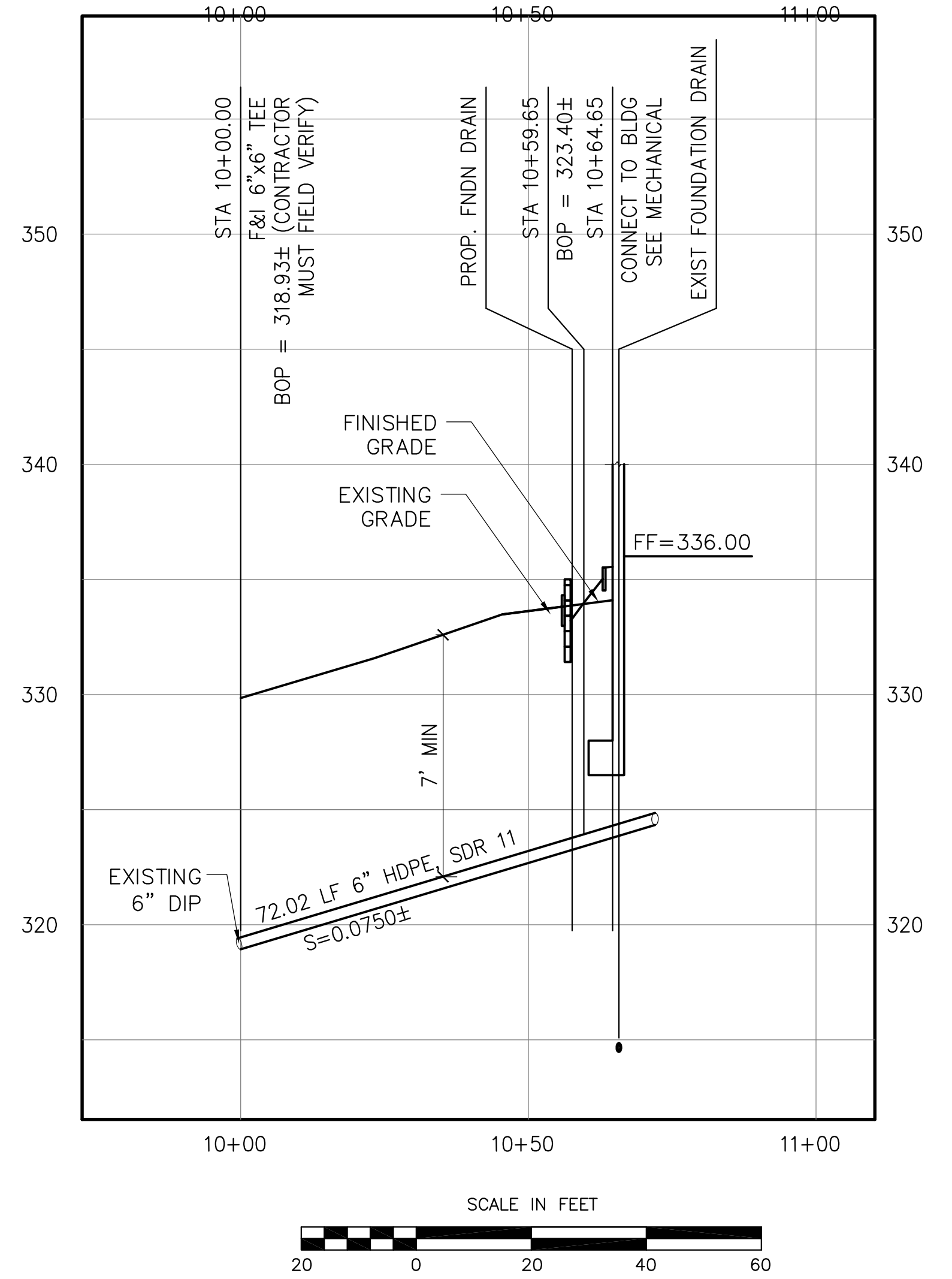
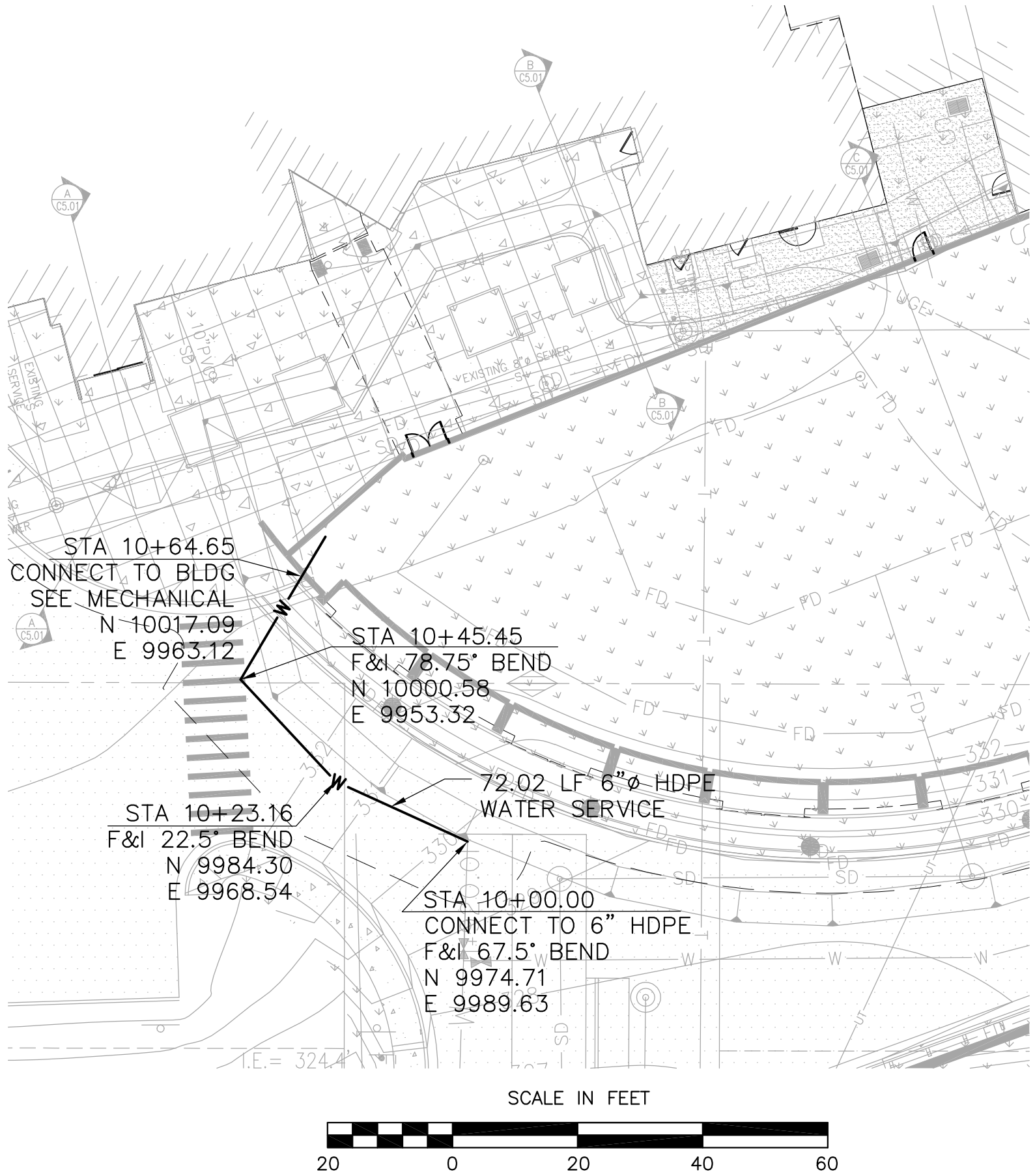
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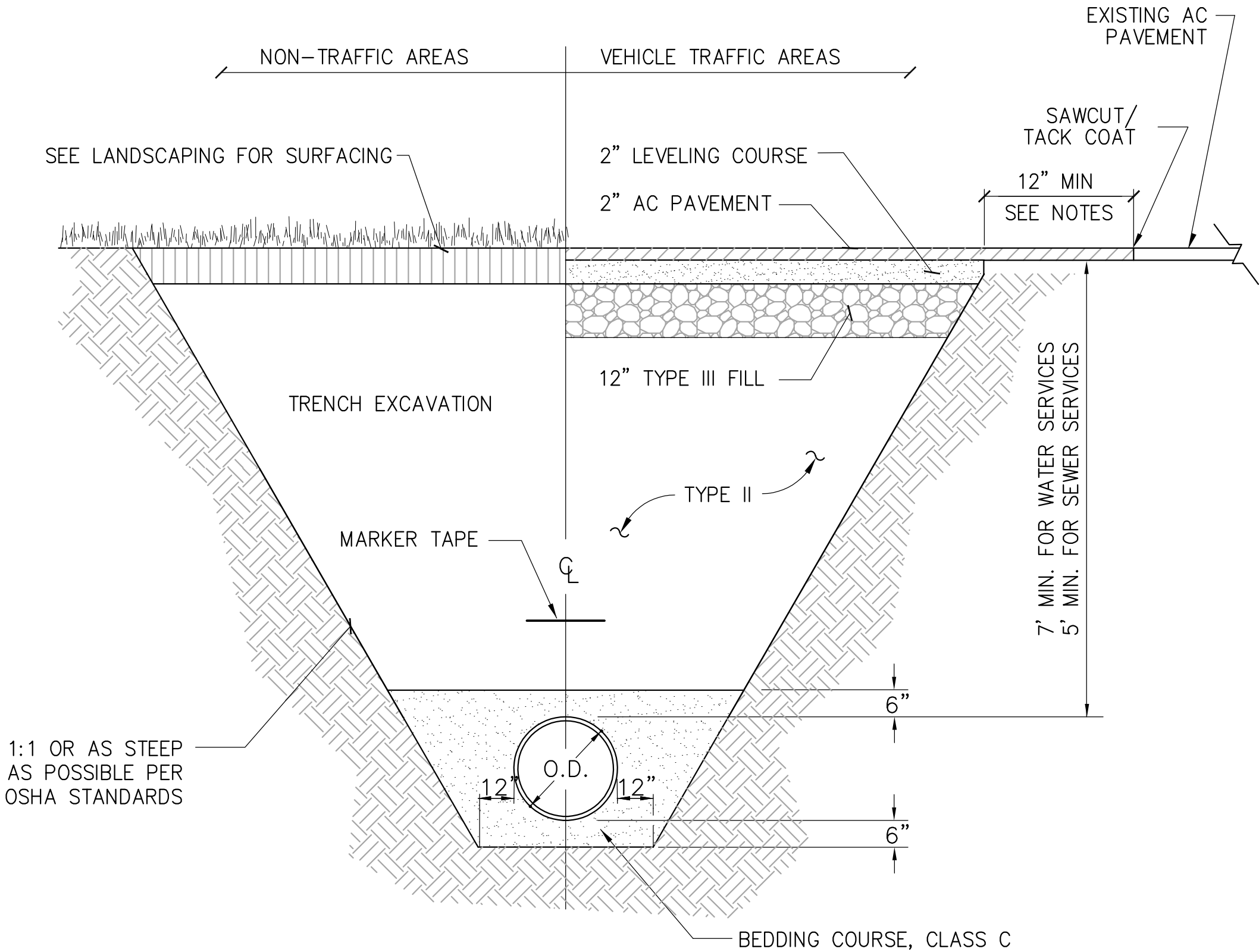


GENERAL UTILITY NOTES

- ALL WATER UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOMER STANDARD CONSTRUCTION SPECIFICATIONS, 2000 EDITION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE FOLLOWING PERMITS AND SPECIFICATIONS SHALL BE POSTED AND MAINTAINED AT THE JOB SITE:

CITY OF HOMER CONSTRUCTION PERMITS
CITY OF HOMER STANDARD SPECIFICATIONS
ROW USE PERMITS
- WHERE A STORM DRAIN AND SEWER MAIN OR SEWER SERVICE OR WATER MAIN AND WATER SERVICE CROSS WITH LESS THAN THREE FEET VERTICAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE), THE CONTRACTOR SHALL INSULATE THE SEWER MAIN OR SERVICE WITH 4 INCH THICK CLOSED CELL INSULATION. INSULATION SHALL BE INCIDENTAL TO THIS CONTRACT.
- ALL SEWER/WATER PIPE INSULATION SHALL BE RIGID BOARD MATERIAL FOR UNDERGROUND INSTALLATION EQUIVALENT TO DOW CHEMICAL CO. STYROFOAM HI 40 (4' WIDE x 2" THICK). AS A RULE OF THUMB, WHERE INSULATION IS USED TO REDUCE THE REQUIRED DEPTH OF COVER, 2" (THICKNESS) OF BOARD INSULATION MAY BE USED FOR EVERY 1' REDUCTION IN COVER DEPTH.
- MAINTAIN MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SEPARATION BETWEEN WATER MAINS AND SERVICES AND STORM DRAINS AND SANITARY SEWER MAINS AND SERVICES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL BURIED UTILITIES, AND SHALL CALL FOR UTILITY LOCATES A MINIMUM OF TWO (2) DAYS (EXCLUDING NON-WORKING DAYS) PRIOR TO DIGGING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITY DAMAGED DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL RESTORE PROPERTY DISTURBED BY CONTRACT ACTIVITY TO THE PRE-CONSTRUCTION CONDITION (UNLESS OTHERWISE STATED ON PLANS). SUCH WORK IS INCIDENTAL TO THIS CONTRACT AND SHALL INCLUDE BUT NOT BE LIMITED TO PAVEMENTS, PAVEMENT STRIPING, CONCRETE SLABS, FENCES, MAILBOXES, SIGNS, CURBS, GUTTERS AND SEEDED AREAS, ETC.
- ALL ITEMS CALLED OUT ON THE PLANS SHALL BE CONSTRUED TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
- THE CONTRACTOR SHALL MAINTAIN "REDLINE" UTILITY RECORD DRAWINGS ON A CLEAN SET OF CONSTRUCTION DRAWINGS. THE REDLINES SHALL BE KEPT CURRENT ON A DAILY BASIS AND SHALL BE AVAILABLE TO THE ENGINEER FOR INSPECTION ON THE JOB SITE.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS IN THE FIELD AS NECESSARY. THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES ENCOUNTERED IN THE FIELD SHALL BE RECORDED ON THE CONTRACTOR'S RECORD DRAWINGS.
- ALL NEW WATER SERVICE LINES SHALL BE DUCTILE IRON PIPE, CL-52.
- A GEOTECHNICAL INVESTIGATION WAS PERFORMED IN CONJUNCTION WITH THIS PROJECT AND MAY BE REVIEWED UPON REQUEST.
- ALL ORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE. NO ORGANIC MATERIAL MAY BE USED FOR TRENCH BACKFILL.
- SLOPE TRENCH WALLS ACCORDING TO SOIL CONDITIONS AND SAFETY STANDARDS (OSHA) OR USE TRENCH SHIELDS.
- USEABLE NATIVE MATERIAL SUITABLE FOR BACKFILL (AS APPROVED BY THE ENGINEER) SHALL CONSIST OF SILT, SAND, GRAVEL, ROCK OR COMBINATIONS THEREOF, AND SHALL CONTAIN NO MUCK, PEAT, FROZEN OR OTHER DELETERIOUS MATERIAL. NATIVE MATERIAL USED AS BACKFILL WITHIN THE ROAD PRISM SHALL MEET TYPE II CLASSIFIED FILL SPECIFICATIONS AS DETERMINED BY THE ENGINEER.
- PIPE BEDDING SHALL BE CITY OF HOMER STANDARD SPECIFICATION CLASS C. TRENCH BACKFILL SHALL BE NON-FROST SUSCEPTIBLE MATERIAL. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM-D698.
- WHEN PATCHING CUTS IN EXISTING AC PAVEMENT, MATCH THE EXISTING BITUMINOUS PAVEMENT THICKNESS OR PROVIDE 2" MINIMUM THICKNESS, WHICHEVER IS GREATER.
- WHEN BACKFILLING TRENCHES IN EXISTING PAVED AREAS, THE THICKNESS OF LEVELING COURSE SHALL MATCH THE EXISTING THICKNESS OR SHALL BE A MINIMUM OF 2" THICK, WHICHEVER IS GREATER.
- ASPHALT FOR TACK COAT SHALL BE APPLIED TO ALL BITUMINOUS PAVEMENT SAWCUT SURFACES.
- AFTER TRENCH BACKFILL HAS BEEN COMPACTED, AN ADDITIONAL 12" OF AC PAVEMENT SHALL BE REMOVED FROM THE EDGE OF THE ORIGINAL PAVEMENT CUT. THE ENGINEER MAY REQUIRE MORE THAN A 12" ADDITIONAL CUT IF THE EXISTING PAVEMENT HAS BEEN LIFTED IN THE REMOVAL PROCESS OR IF THE JOINT DOES NOT OCCUR ON UNDISTURBED MATERIAL OR WITHIN A TRAVEL LANE. CUTS SHALL BE MADE WITH A SAW.
- AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE COMPACTION TESTING AT A MINIMUM INTERVAL OF 100 FEET OF TRENCH ON A MINIMUM OF THREE LIFTS. ADDITIONAL TESTS MAY BE REQUESTED BY THE ENGINEER DURING CONSTRUCTION.

- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING ACTIVITES AND PERMITTING INCLUDING THE PREPARATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ALONG WITH AN EPA NOTICE OF INTENT (NOI) WHICH SHALL BE SUBMITTED TO BOTH THE EPA AND ADEC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EMPLOYED THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL CONFORM TO EPA NPDES GUIDELINES. WATER RESULTING FROM THE CONTRACTOR'S DEWATERING EFFORT MAY NOT BE PUMPED OR OTHERWISE DIVERTED INTO EXISTING STORM DRAINS UNLESS REQUIRED PERMITS AND APPROVALS ARE OBTAINED BY THE CONTRACTOR. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO DIVERT WATER FROM THE EXCAVATION ONTO ROADWAYS. THE CONTRACTOR SHALL PROVIDE DISPOSAL SITE FOR EXCESS WATER AND SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND APPROVALS.
- ALL WATER SHALL BE WRAPPED WITH 8 MIL PLASTIC BAGGIES.
- THE WATER SERVICE LINE SHALL HAVE A MINIMUM COVER OF 7 FT UNLESS BOARD INSULATION IS USED IN WHICH CASE 2 INCHES OF INSULATION MAY BE SUBSTITUTED FOR 1 FOOT OF COVER TO A MINIMUM DEPTH OF COVER OF 4'.



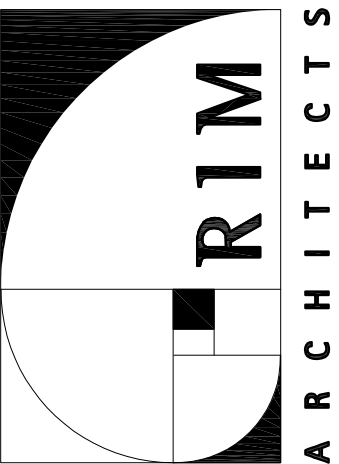
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C2.01

TYPICAL TRENCH SECTION

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EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
WATER

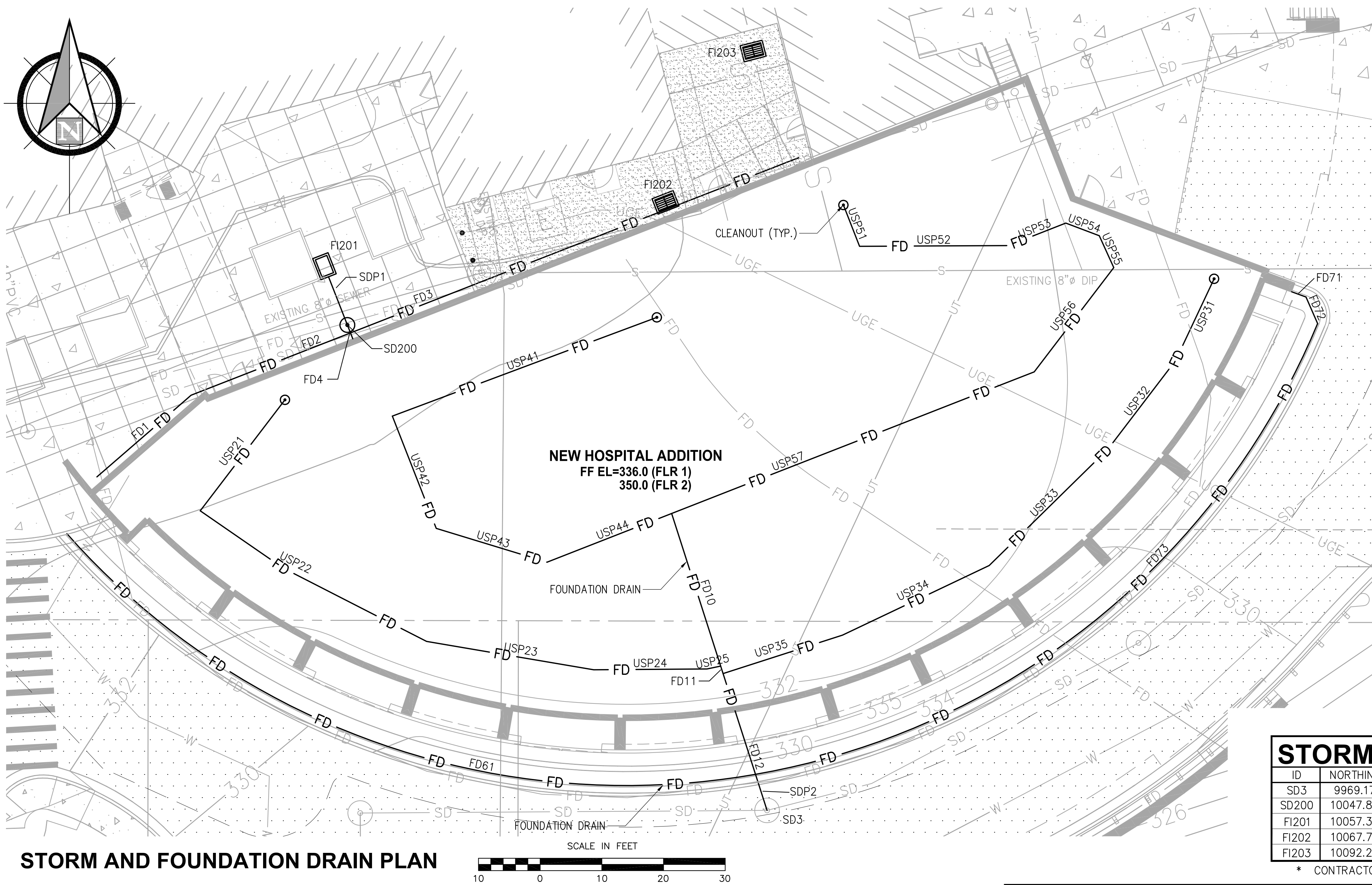
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Sheet No.

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- SHEET NOTES:**
1. SEE SHEET C1.03 FOR SITE GRADING.
 2. SEE MECHANICAL FOR RAIN LEADER LOCATIONS AND CONTINUATION.

CAUTION!!
UNDERGROUND UTILITIES
OBTAIN UTILITY LOCATES
PRIOR TO DIGGING

STORM DRAINAGE STRUCTURE SUMMARY				
ID	NORTHING	EASTING	RIM ELEVATION	DESCRIPTION
SD3	9969.17	10070.32	328.60	EXISTING MANHOLE
SD200	10047.83	10002.28	335.41	EXISTING MANHOLE
FI201	10057.35	9998.56	335.16	FIELD INLET
FI202	10067.70	10053.87	335.10	FIELD INLET
FI203	10092.23	10068.07	335.00	FIELD INLET

* CONTRACTOR TO VERIFY

FOUNDATION DRAINAGE PIPING SUMMARY

PIPE	PIPE	LENGTH	INLET			OUTLET			SLOPE
			NORTHING	EASTING	INV ELEV	NORTHING	EASTING	INV ELEV	
FD1	6"Ø PERF PIPE	20.19	10023.22	9961.68	328.70	10036.44	9976.94	328.50	0.010
FD2	6"Ø PERF PIPE	27.75	10036.44	9976.94	328.50	10046.54	10002.78	328.22	0.010
FD3	6"Ø PERF PIPE	78.01	10074.94	10075.45	329.00	10046.54	10002.78	328.22	0.010
FD4	6"Ø PERF PIPE	—	10046.54	10002.78	—	10047.83	10002.28	—	0.010
FD10	6"Ø PERF PIPE	25.97	10017.29	10054.85	331.63	9992.56	10062.80	331.37	—
FD11	6"Ø PERF PIPE	1.28	9992.56	10062.80	331.37	9991.34	10063.19	331.36	—
FD12	6"Ø PERF PIPE	23.29	9991.34	10063.19	331.36	9975.01	10068.44	321.40	—
FD61	6"Ø PERF PIPE	123.53	10014.02	9956.80	332.50	9975.01	10068.44	331.88	0.005
FD71	6"Ø PERF PIPE	2.48	10053.22	10155.37	331.50	10052.36	10157.70	331.49	0.005
FD72	6"Ø PERF PIPE	4.68	10052.36	10157.70	331.49	10048.07	10159.57	331.46	0.005
FD73	6"Ø PERF PIPE	121.68	10048.07	10159.57	331.46	9975.01	10068.44	330.86	0.005

* CONTRACTOR TO VERIFY

STORM DRAINAGE PIPING SUMMARY

PIPE	PIPE	LENGTH	INLET		OUTLET		SLOPE	COMMENTS
			STRUCTURE	INV ELEV	STRUCTURE	INV ELEV		
SDP1	12"Ø CPEP	8.72	SD2	319.00	SD1	317.35	—	CONNECT TO MECHANICAL
SDP2	6"Ø PERF PIPE	—	9975.01	10068.44	—	9969.17	10070.32	—

* CONTRACTOR TO VERIFY

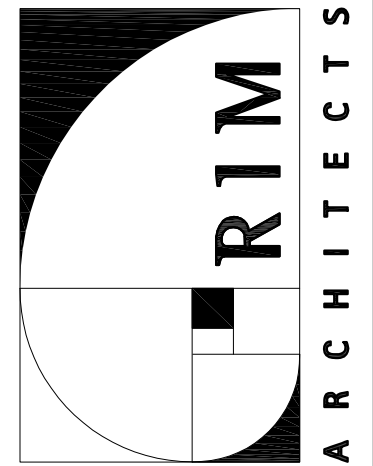
UNDER-SLAB DRAINAGE PIPING SUMMARY

PIPE	PIPE	LENGTH	INLET			OUTLET			SLOPE
			NORTHING	EASTING	INV ELEV	NORTHING	EASTING	INV ELEV	
USP21	6"Ø PERF PIPE	22.62	10035.70	9992.16	333.00	10017.73	9978.43	332.67	0.014
USP22	6"Ø PERF PIPE	42.37	10017.73	9978.43	332.67	9996.56	10015.12	332.06	0.014
USP23	6"Ø PERF PIPE	27.49	9996.56	10015.12	332.06	9991.95	10042.22	331.67	0.014
USP24	6"Ø PERF PIPE	18.36	9991.95	10042.22	331.67	9992.08	10060.59	331.40	0.014
USP25	6"Ø PERF PIPE	2.26	9992.08	10060.59	331.40	9992.5	10062.80	331.37	0.014
USP31	6"Ø PERF PIPE	14.65	10055.32	10142.80	333.00	10042.06	10136.55	332.77	0.015
USP32	6"Ø PERF PIPE	17.99	10042.06	10136.55	332.77	10027.77	10125.64	332.50	0.015
USP33	6"Ø PERF PIPE	27.03	10027.77	10125.64	332.50	10008.85	10106.33	332.08	0.015
USP34	6"Ø PERF PIPE	26.32	10008.85	10106.33	332.08	9997.57	10082.55	331.67	0.015
USP35	6"Ø PERF PIPE	20.34	9997.57	10082.55	331.67	9991.34	10063.19	331.36	0.015
USP41	6"Ø PERF PIPE	45.76	10049.07	10052.45	333.00	10033.08	10009.58	332.41	0.013
USP42	6"Ø PERF PIPE	19.54	10033.08	10009.58	332.41	10014.88	10016.68	332.15	0.013
USP43	6"Ø PERF PIPE	18.77	10014.88	10016.68	332.15	10009.40	10034.64	331.91	0.013
USP44	6"Ø PERF PIPE	21.70	10009.40	10034.64	331.91	10017.29	10054.85	331.63	0.013
USP51	6"Ø PERF PIPE	7.19	10067.28	10082.70	333.00	10060.58	10085.31	332.93	0.010
USP52	6"Ø PERF PIPE	24.10	10060.58	10085.31	332.93	10060.70	10109.41	332.69	0.010
USP53	6"Ø PERF PIPE	10.02	10060.70	10109.41	332.69	10064.34	10118.75	332.59	0.010
USP54	6"Ø PERF PIPE	5.81	10064.34	10118.75	332.59	10062.30	10124.19	332.53	0.010
USP55	6"Ø PERF PIPE	5.68	10062.30	10124.19	332.53	10057.13	10126.54	332.47	0.010
USP56	6"Ø PERF PIPE	21.27	10057.13	10126.54	332.47	10040.23	10113.62	332.26	0.010
USP57	6"Ø PERF PIPE	63.09	10040.23	10113.62	332.26	10017.29	10054.85	331.63	0.010

* CONTRACTOR TO VERIFY



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EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
STORM AND FOUNDATION DRAINAGE

Revisions

12/15/06

Date

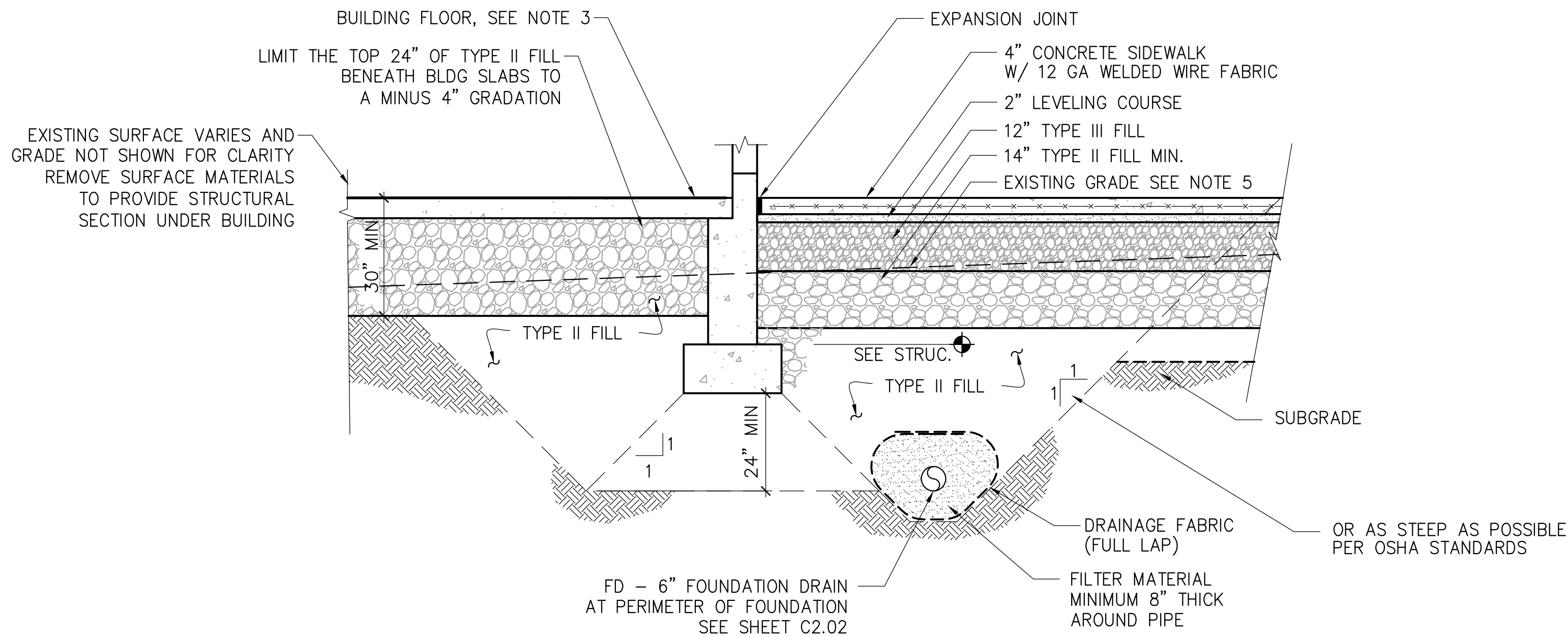
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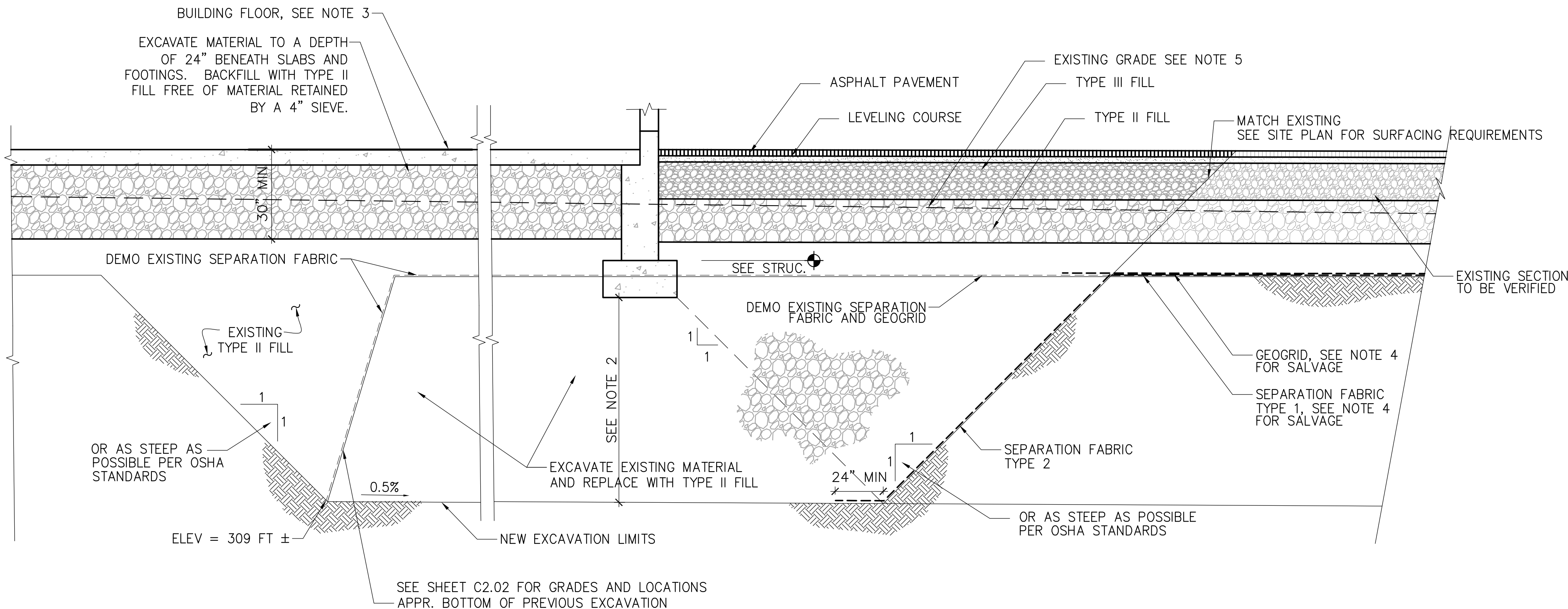
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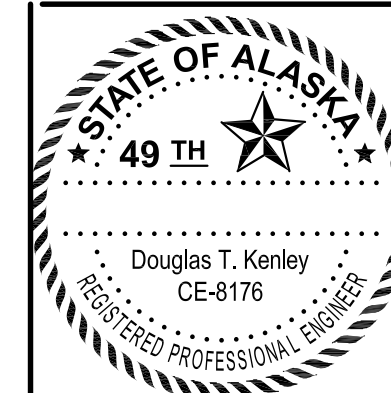
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C3.01 NTS
TYPICAL FOUNDATION & PAVEMENT SECTION (DEEP EXCAVATION DONE PREVIOUSLY BY OTHERS)



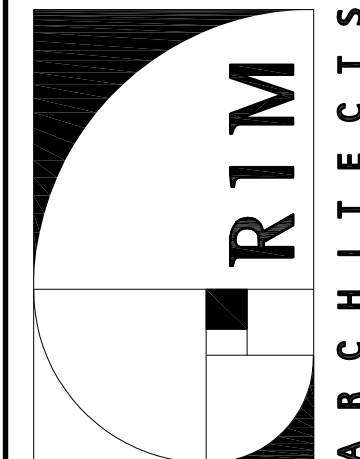
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C3.01 NTS
TYPICAL FOUNDATION & PAVEMENT SECTION (DEEP EXCAVATION)

SHEET NOTES/EARTHWORK RECOMMENDATIONS:

1. SEE DEMO PLAN FOR EXISTING EXCAVATION LIMITS. EARTHWORK NEAR THE LOADING ZONE AT THIS SITE WILL REQUIRE EXTENSIVE SURFACE AND SUBSURFACE WATER DRAINAGE CONTROL. LOCAL SOILS ARE SENSITIVE TO BOTH MOISTURE AND DISTURBANCE. ALL EXCAVATIONS WITH CUT SLOPES OF 3:1 OR GREATER SHALL BE BACKFILLED WITHIN 24-HOURS OF EXCAVATING.
2. EXCAVATION BENEATH FOOTINGS VARIES. SEE SITE SECTIONS FOR EXCAVATION REQUIREMENTS. REMOVE AND SIPOSE OF ALL DELETERIOUS MATERIAL IN PROPER FASHION.
3. SEE ARCHITECTURAL FOR ADDITIONAL BELOW SLAB REQUIREMENTS SUCH AS CONCRETE SLAB THICKNESS, MUD SLAB, VAPOR RETARDER, INSULATION, ETC.
4. GEOGRID TO EXTEND MINIMUM 2' LAP INTO NEW EXCAVATION LIMITS. SEPARATION FABRIC TO HAVE A MINIMUM 3' LAP.
5. MINIMIZE DISTURBANCE OF EXISTING VEGETATION OUTSIDE EXCAVATION LIMITS.
6. EXISTING GRADE VARIES WITH LOCATION. SEE SITE PLAN FOR EXISTING AND PROPOSED GRADES.



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HOMER, ALASKA
DETAILS

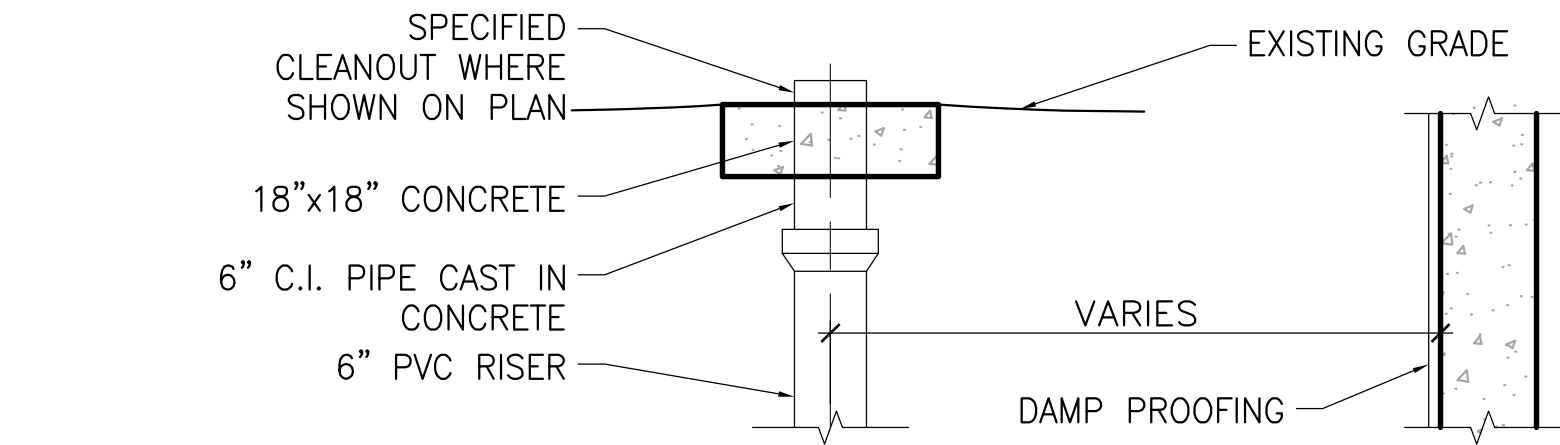
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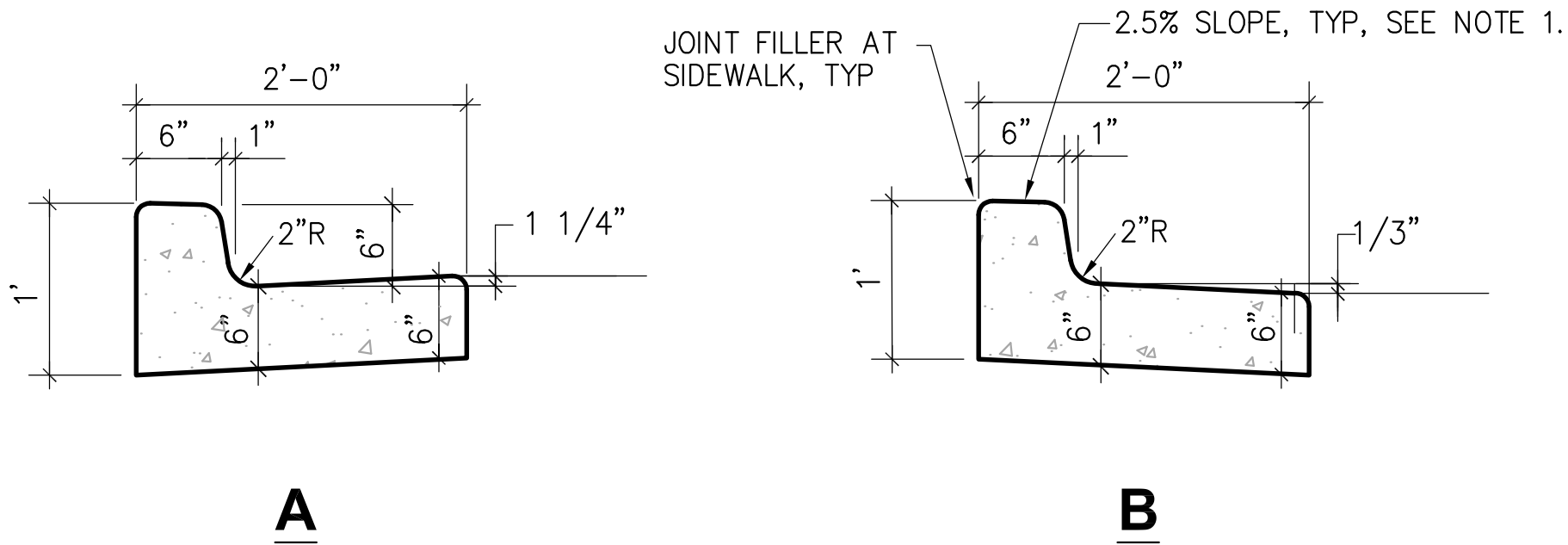
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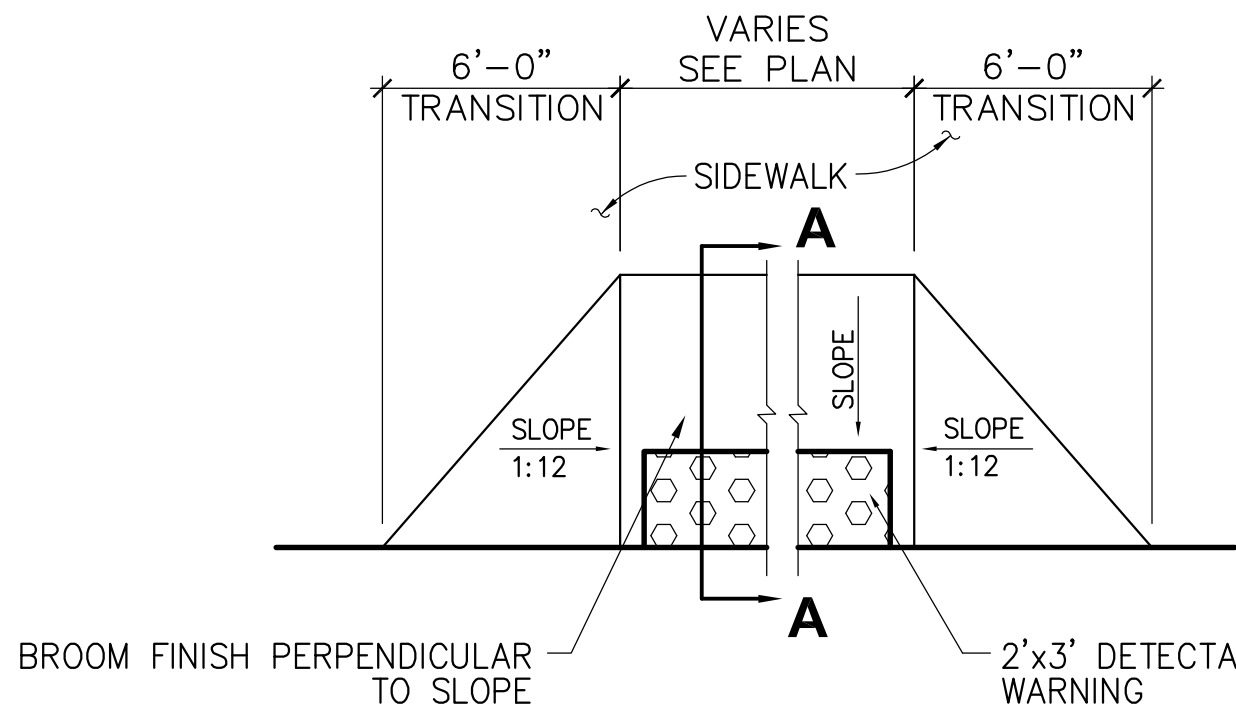
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1
C3.02
TYPICAL CLEANOUT RISER DETAIL

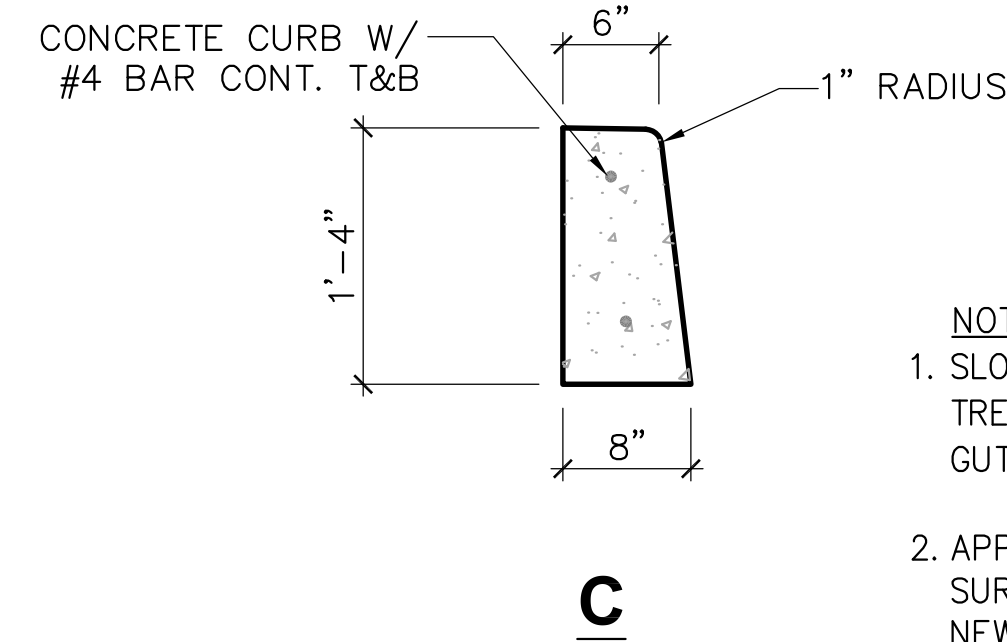


3
C3.02
CURB DETAILS

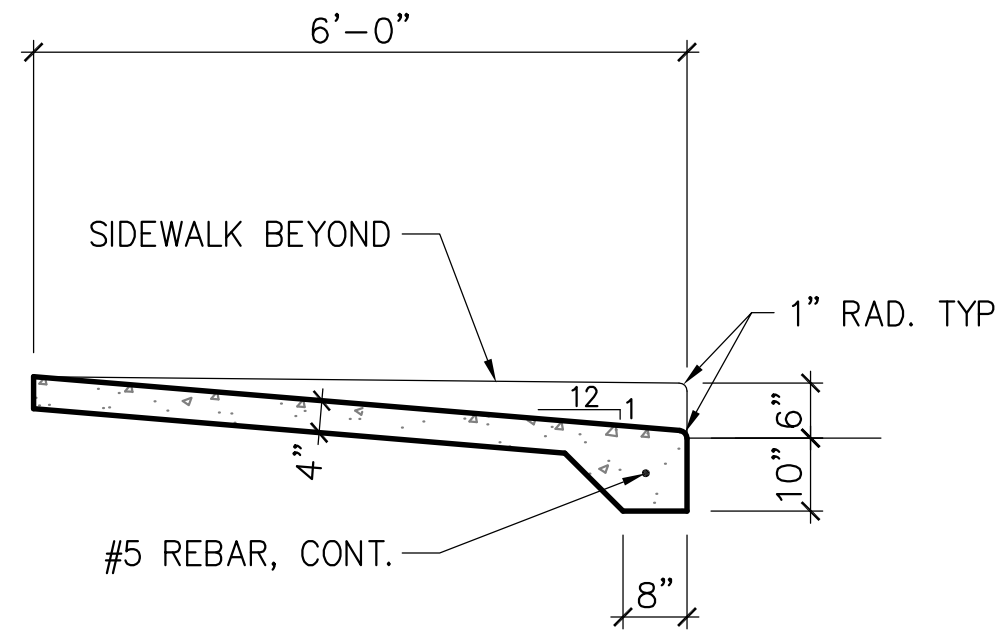


2
C3.01
CURB RAMP

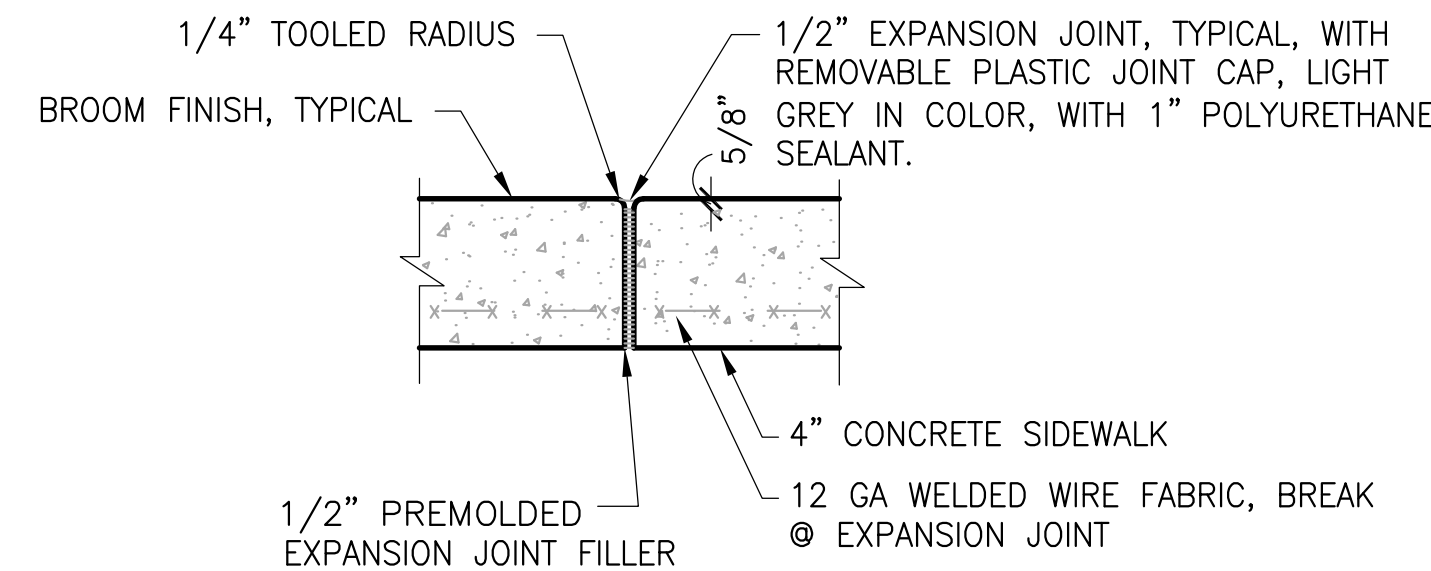
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- NOTES
1. SLOPE = 1.5% WHERE SURFACE TREATMENT BEHIND CURB AND GUTTER IS SIDEWALK.
 2. APPLY TACK COAT TO ALL SURFACES IN CONTACT WITH NEW ASPHALT PAVEMENT.



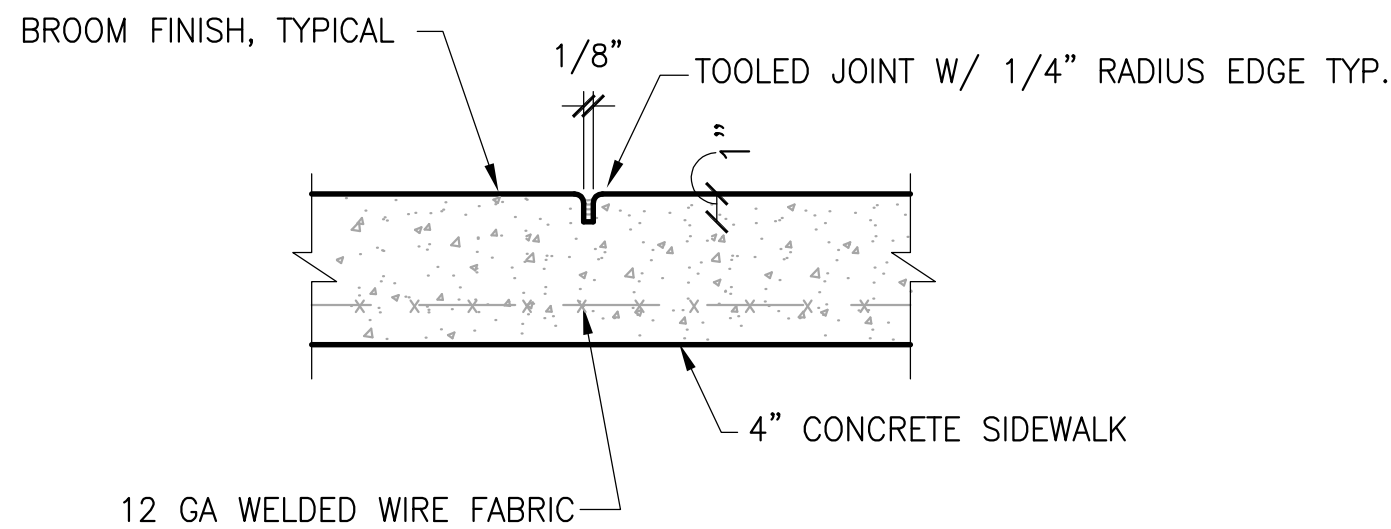
SECTION A-A



NOTE: SPACING AT 25' O.C. AND BETWEEN CHANGE IN CONTROL JOINT GRIDS.

4
C3.02
EXPANSION JOINT DETAIL

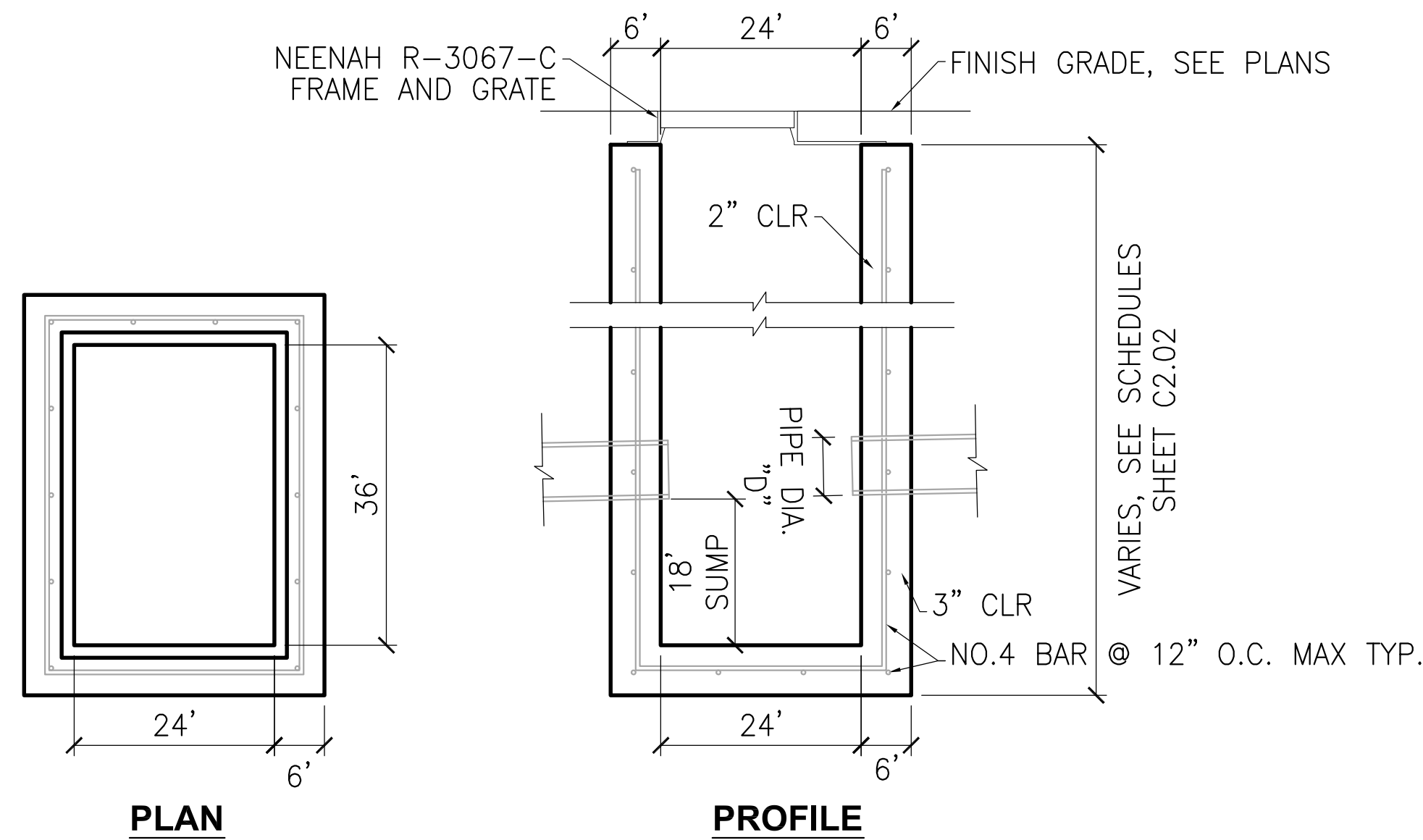
NTS



NOTE: SPACE SHOWN ON SITE / GRADING PLANS OR 6' O.C. MAX.

5
C3.02
CONTROL JOINT DETAIL

NTS

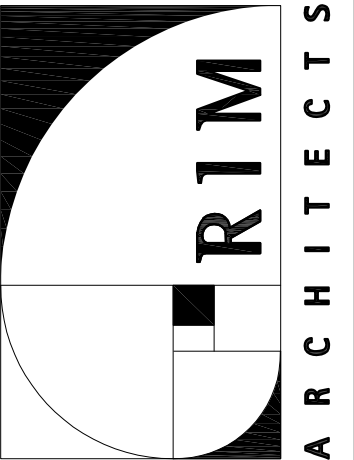


6
C3.02
FIELD INLET DETAIL

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HOMER, ALASKA
DETAILS

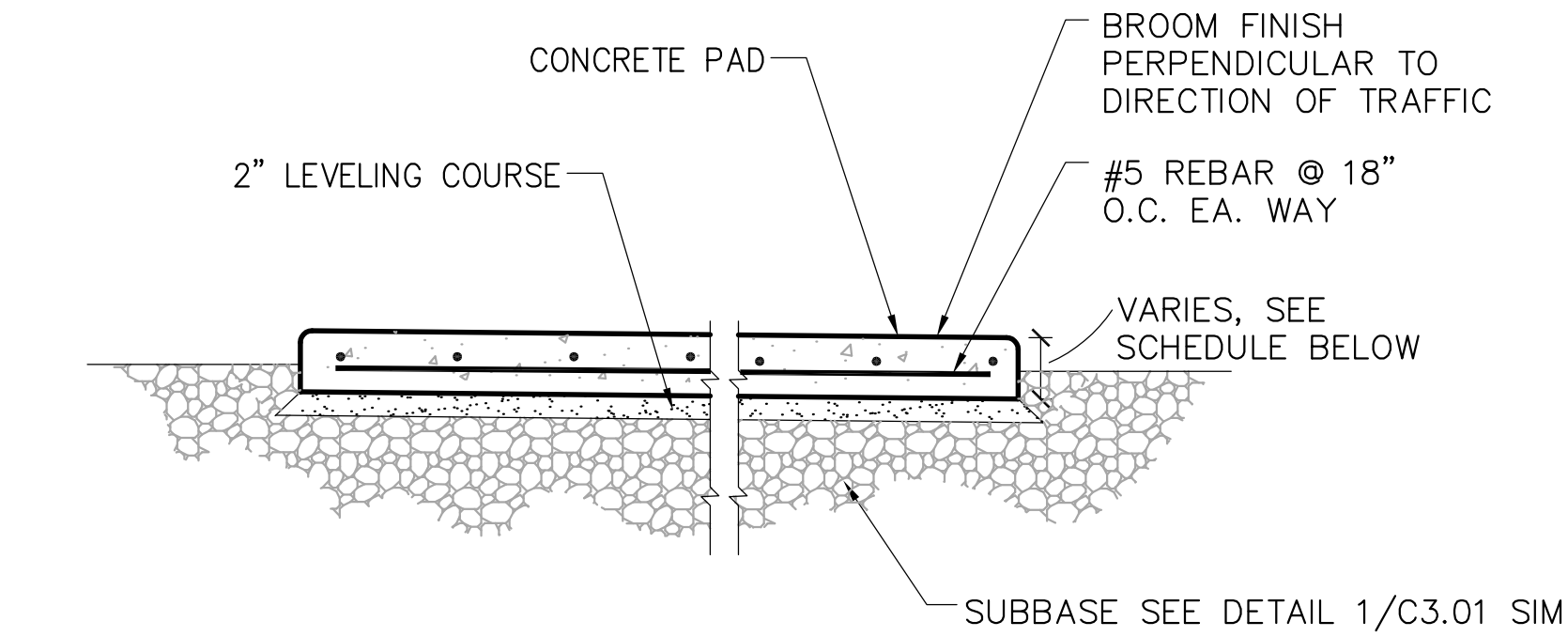
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Job No. 03117.02

Sheet No.

C3.02

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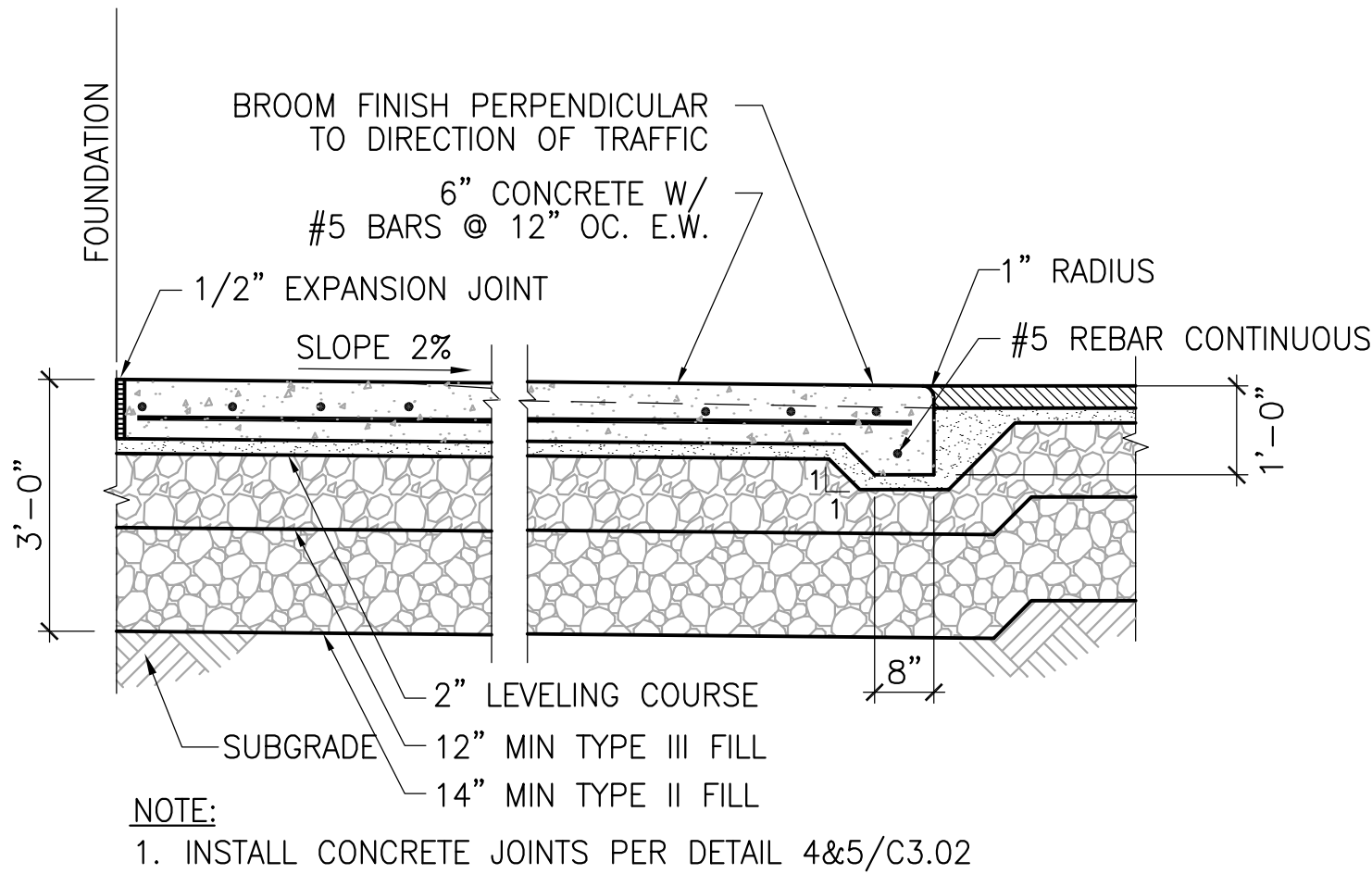
PAD USE	PAD THICKNESS	DIMENSIONS	CONTROL JOINT SPACING
DOOR	6"	4' x 4'	NO CONTROL JOINTS

1

C3.03

CONCRETE PAD

NTS

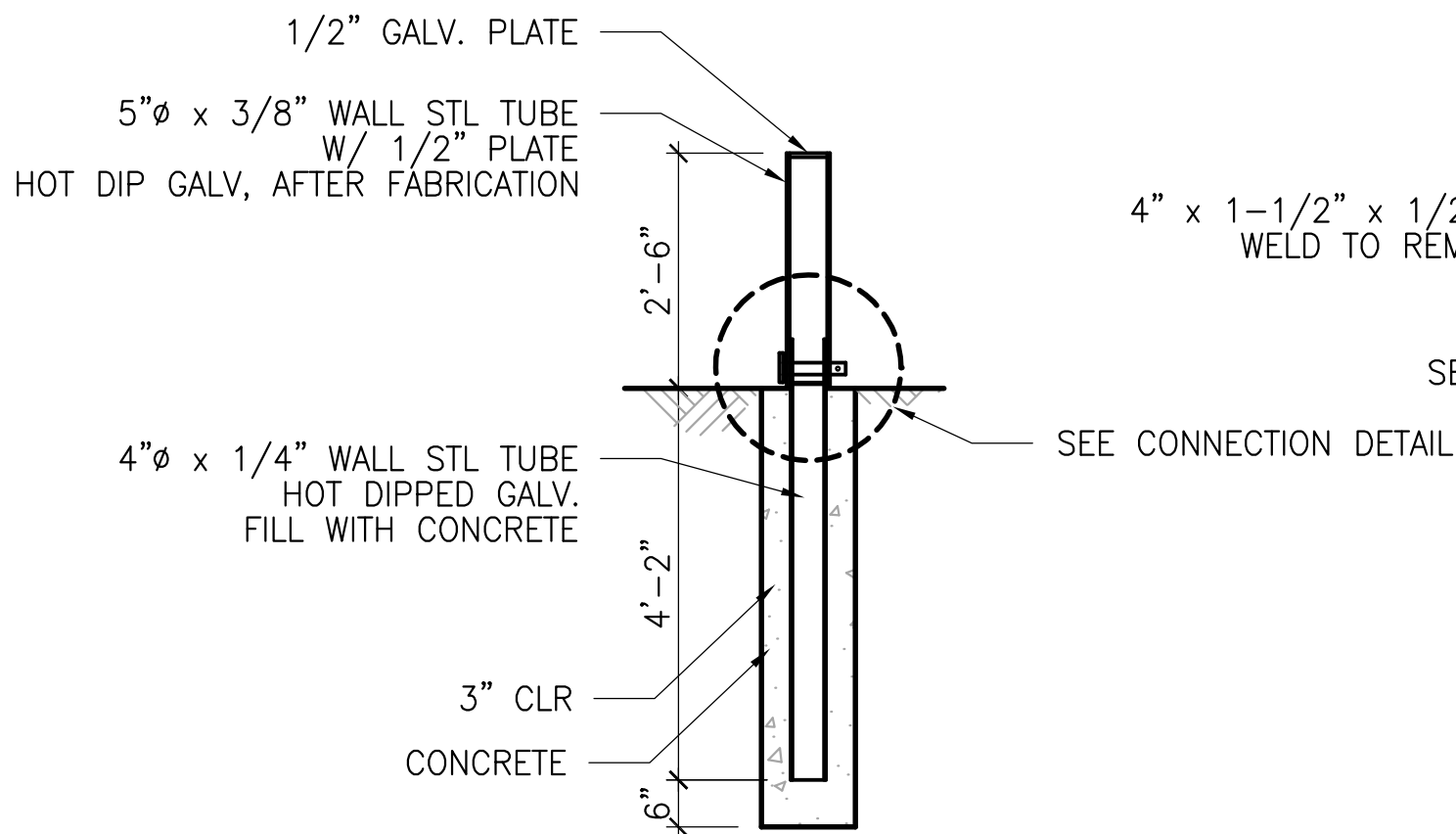


2

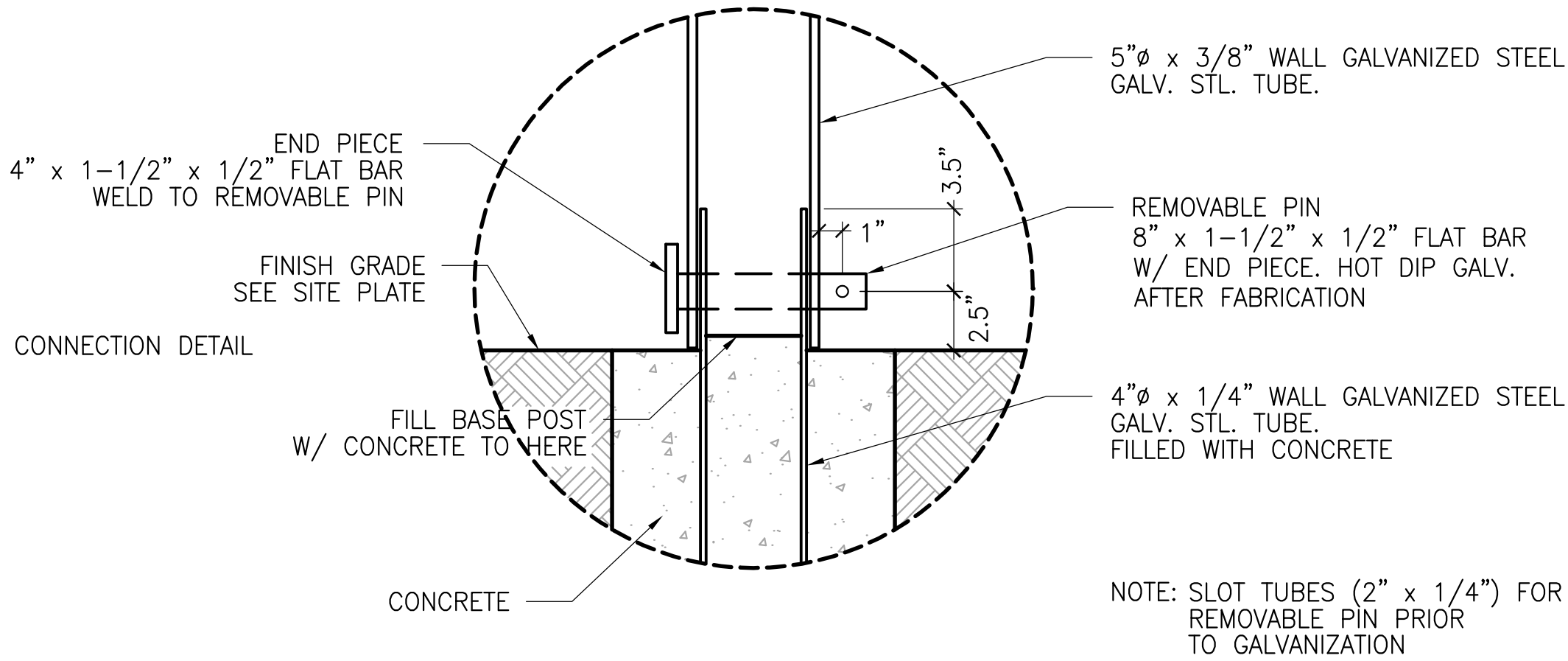
C3.03

CONCRETE APRON

NTS



BOLLARD DETAIL



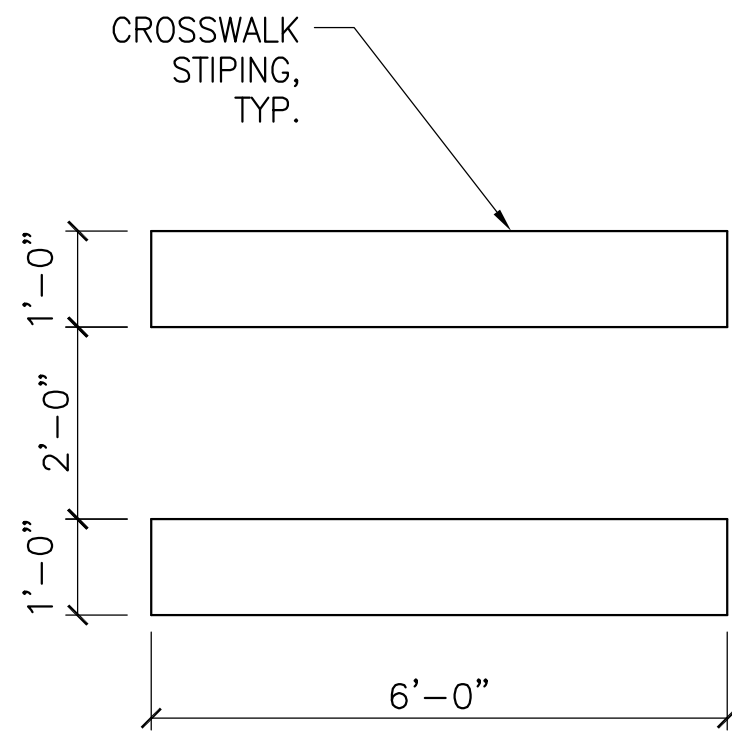
CONNECTION DETAIL

4

C3.03

REMOVABLE BOLLARD

NTS



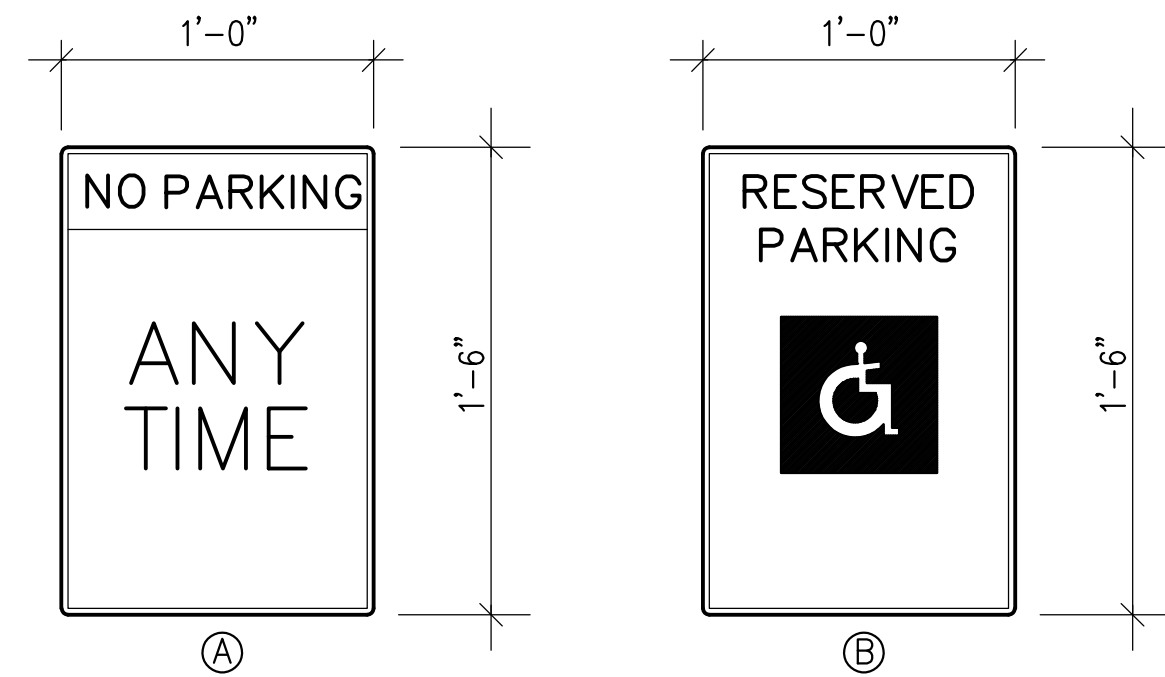
NOTE: PAINT COLOR SHALL BE WHITE.

3

C3.03

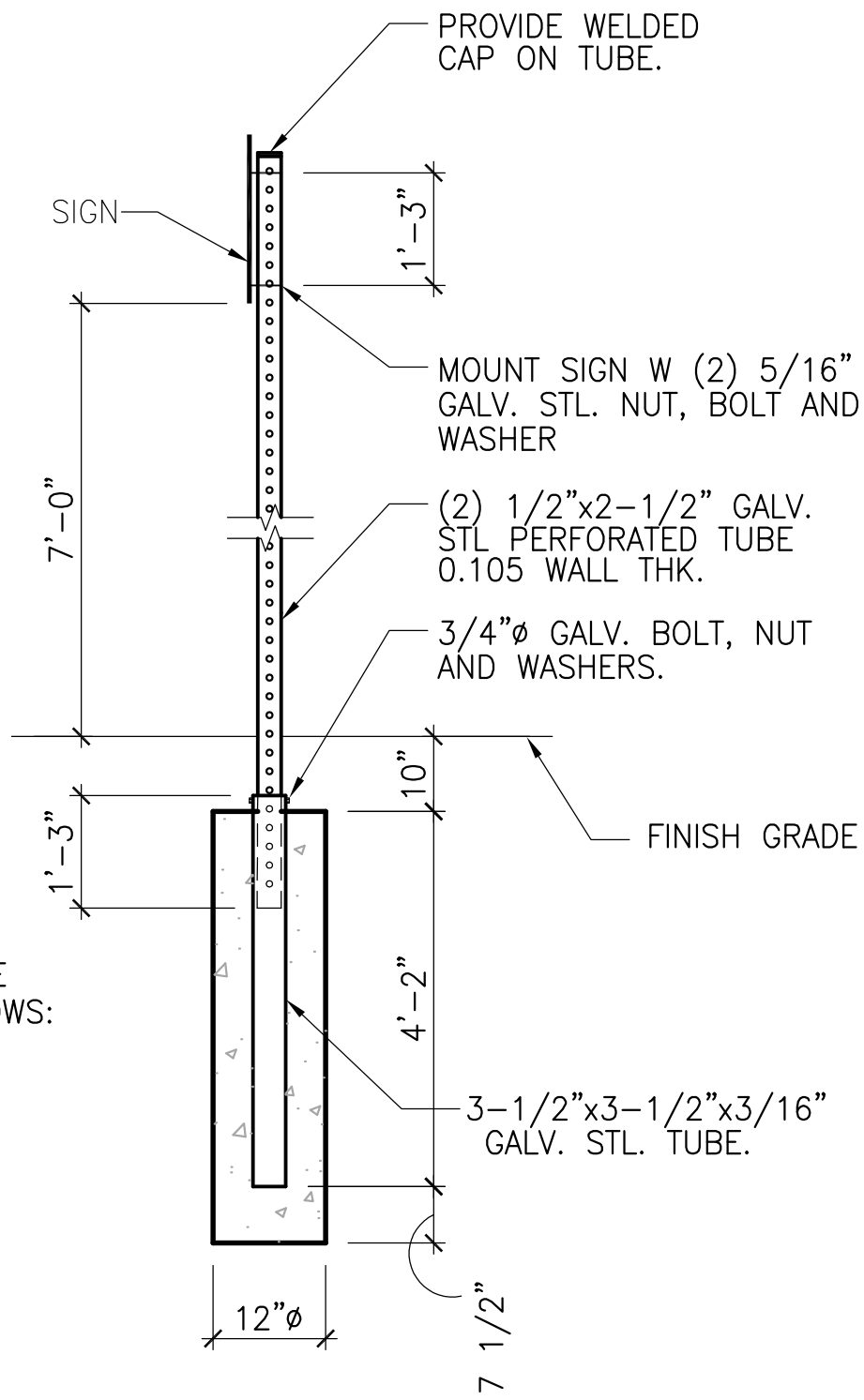
CROSSWALK AND STOP LINE DETAIL

NTS



NOTES

- 2" LEGEND. 4" SYMBOL
GREEN LEGEND AND BORDER.
WHITE SYMBOL ON BLUE
BACKGROUND ON WHITE MAJOR
BACKGROUND
- SIGN DESIGNATIONS ACCORDING TO THE
UNIFORM TRAFFIC CODE ARE AS FOLLOWS:
A R7P-101
B R7-8



SIGN SCHEDULE			
SIGN#	DESCRIPTION	REFERENCE	LOCATION
S1			
S2			

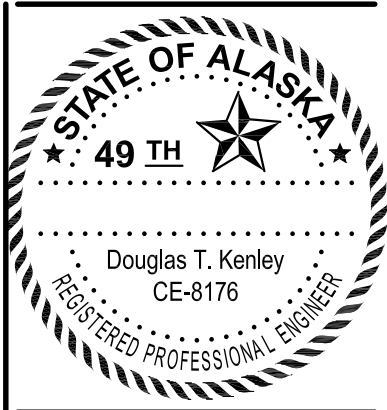
* SIGN REFERENCES ARE ACCORDING TO THE UNIFORM TRAFFIC CODE

5

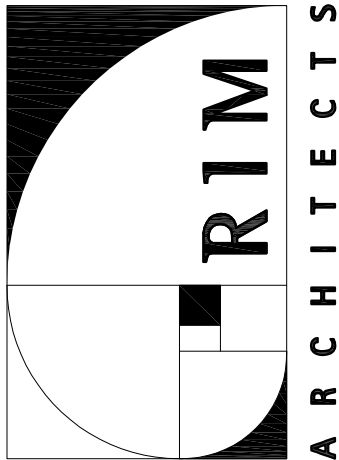
C3.03

TYPICAL SIGN DETAIL

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HOMER, ALASKA
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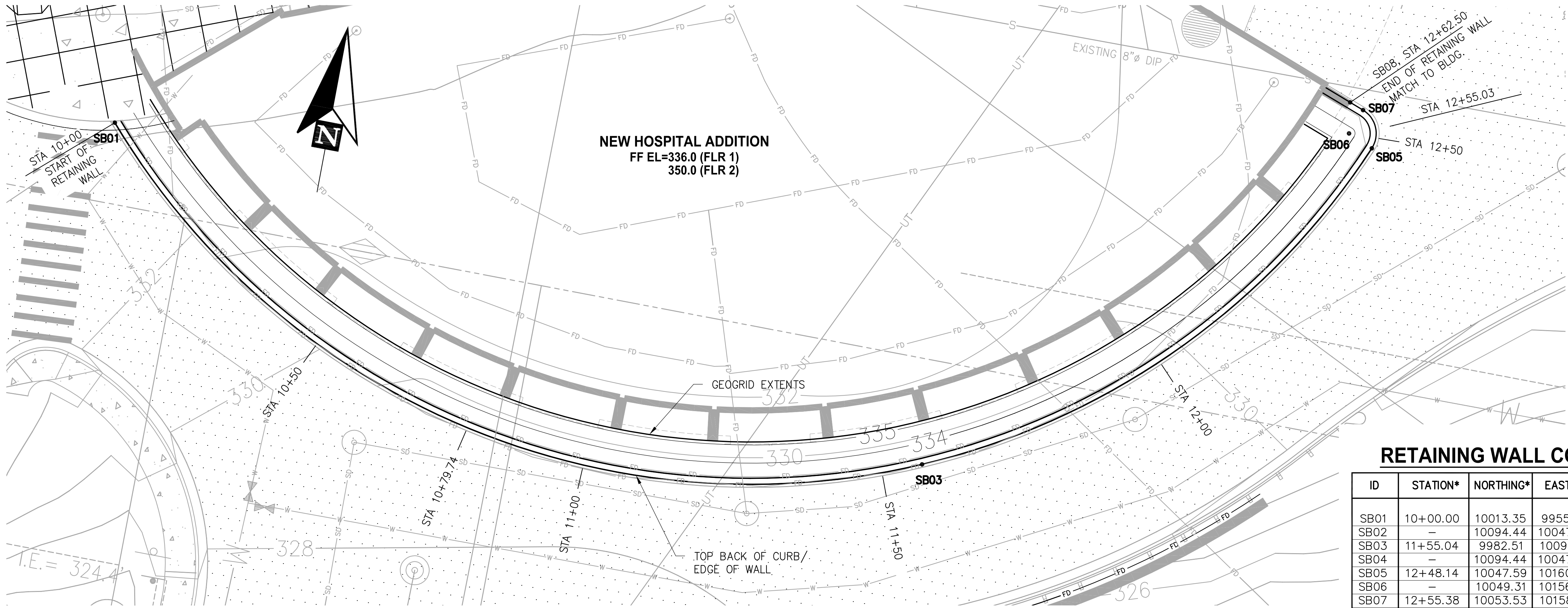
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C3.03

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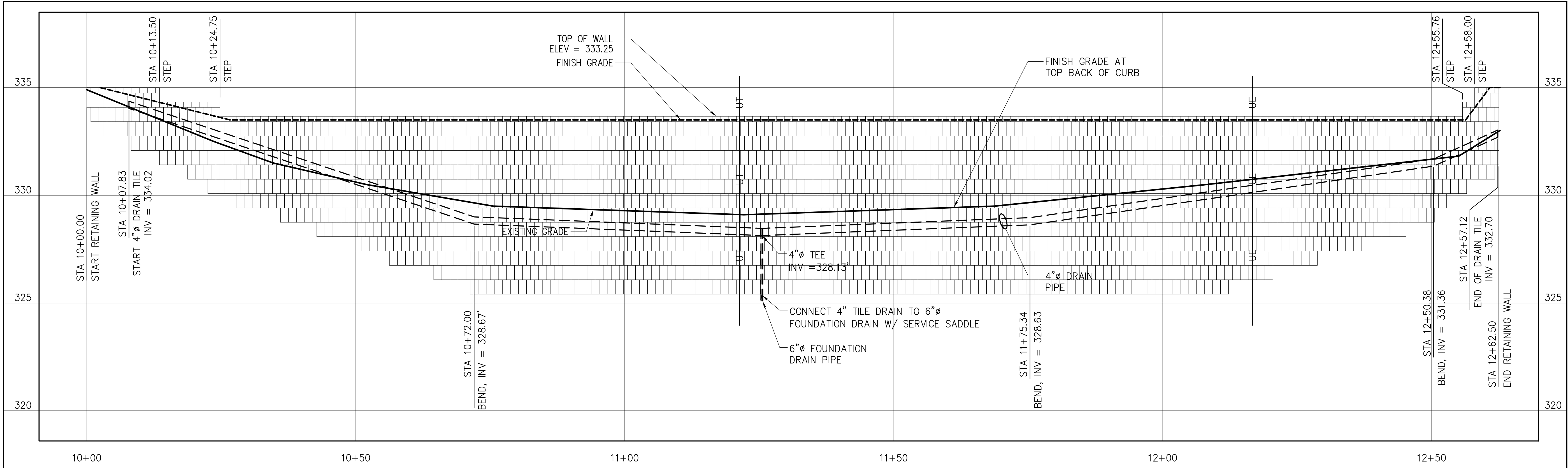
CAUTION!!
UNDERGROUND UTILITIES
OBTAIN UTILITY LOCATES
PRIOR TO DIGGING

RETAINING WALL COORDINATE TABLE

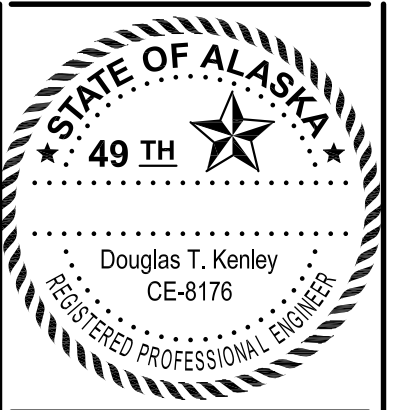
ID	STATION*	NORTHING*	EASTING*	DESCRIPTION
SB01	10+00.00	10013.35	9955.73	START OF RETAINING WALL
SB02	—	10094.44	10047.54	CENTER PT. (NOT SHOWN)
SB03	11+55.04	9982.51	10097.31	END CURVE/START CURVE
SB04	—	10094.44	10047.54	CENTER PT. (NOT SHOWN)
SB05	12+48.14	10047.59	10160.73	END CURVE/START CURVE
SB06	—	10049.31	10156.57	CENTER PT.
SB07	12+55.38	10053.53	10158.13	END CURVE
SB08	12+62.50	10054.39	10155.81	END OF RETAINING WALL

* LAYOUT PTS ARE TO THE TOP BACK OF CURB.

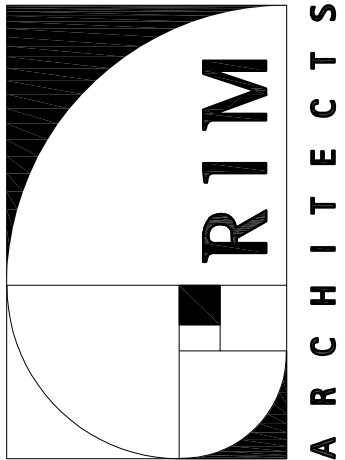
1
C4.01 **SEGMENTAL BLOCK RETAINING WALL PLAN**
NTS NOTE: STATIONING TO TOP BACK OF CURB



2
C4.01 **SEGMENTAL BLOCK RETAINING WALL PROFILE**
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HOMER, ALASKA
SEGMENTAL BLOCK RET. WALL LAYOUT

Revisions

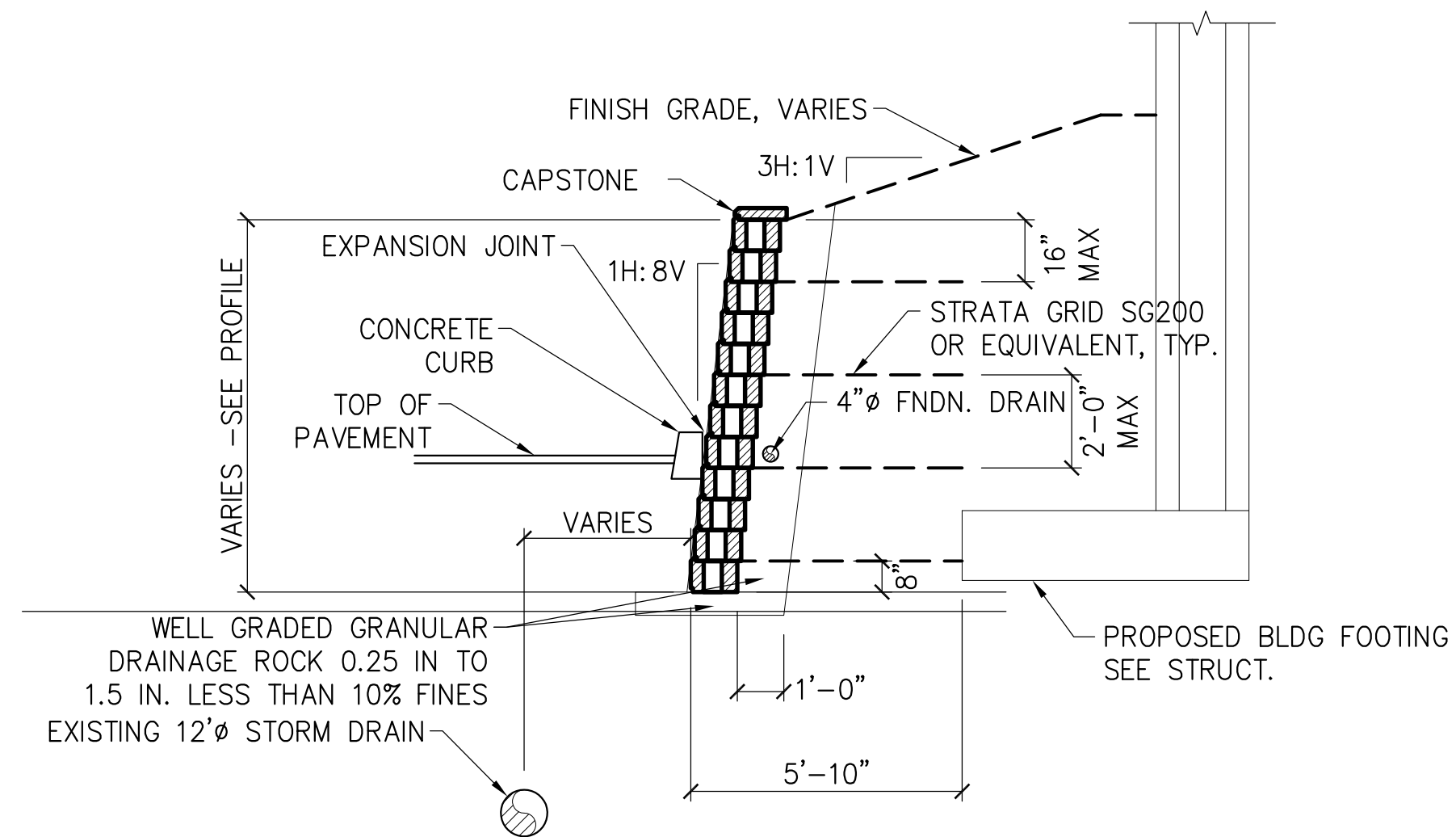
Date 12/15/06
Drawn WRJ
Checked DTK
Job No. 03117.02

Sheet No.

C4.01

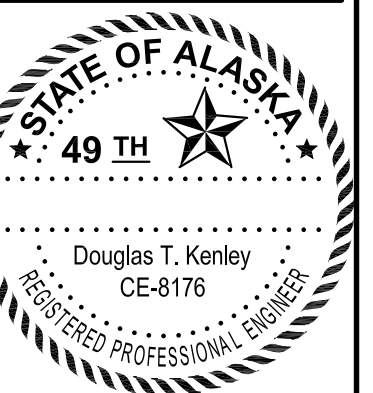
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OBTAIN UTILITY LOCATES
PRIOR TO DIGGING



1
C4.02

NTS

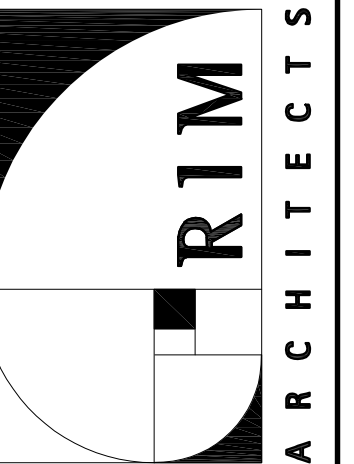


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EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
SEGMENTAL BLOCK RET. WALL DETAILS

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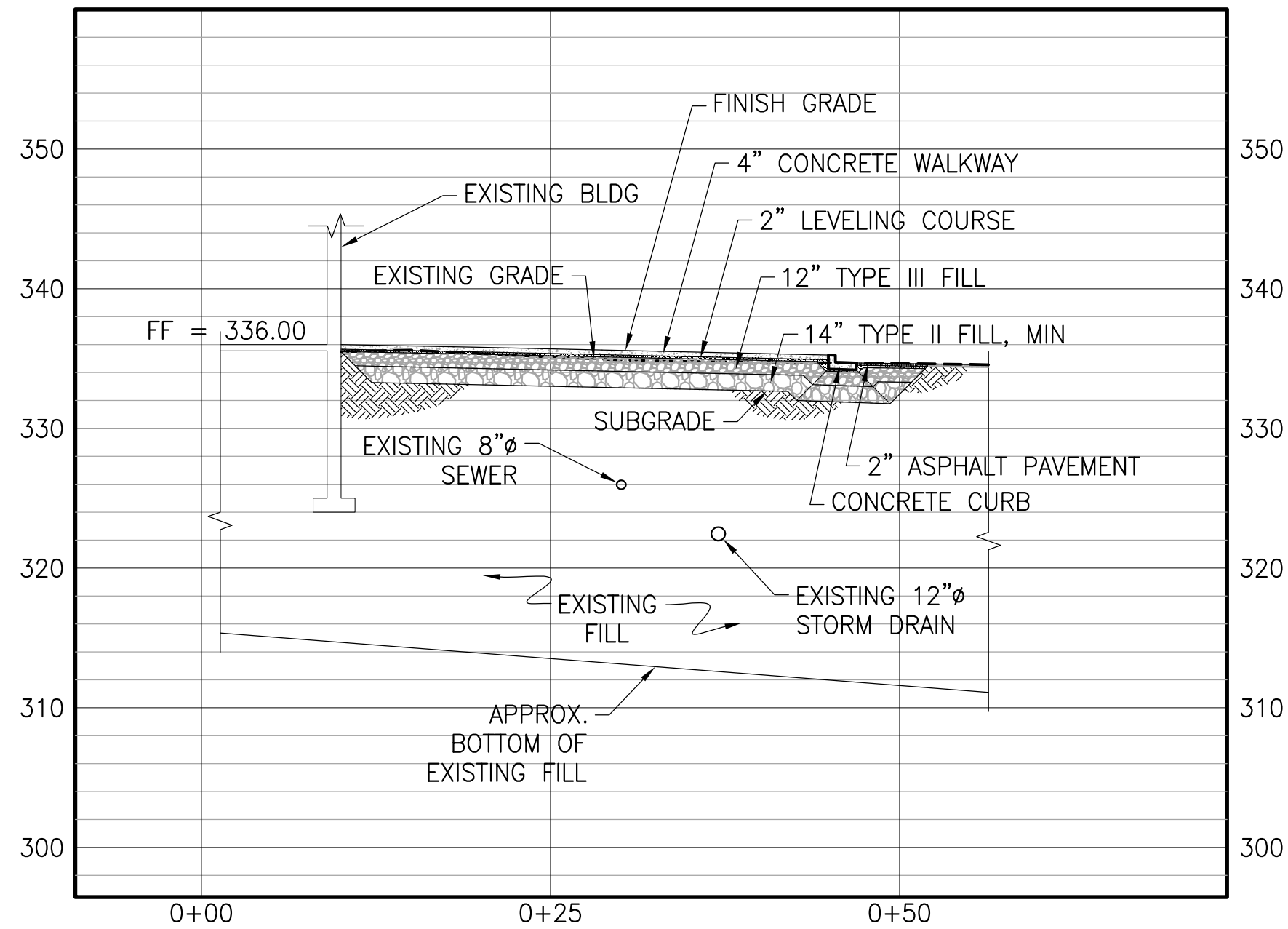
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Job No. 03117.02

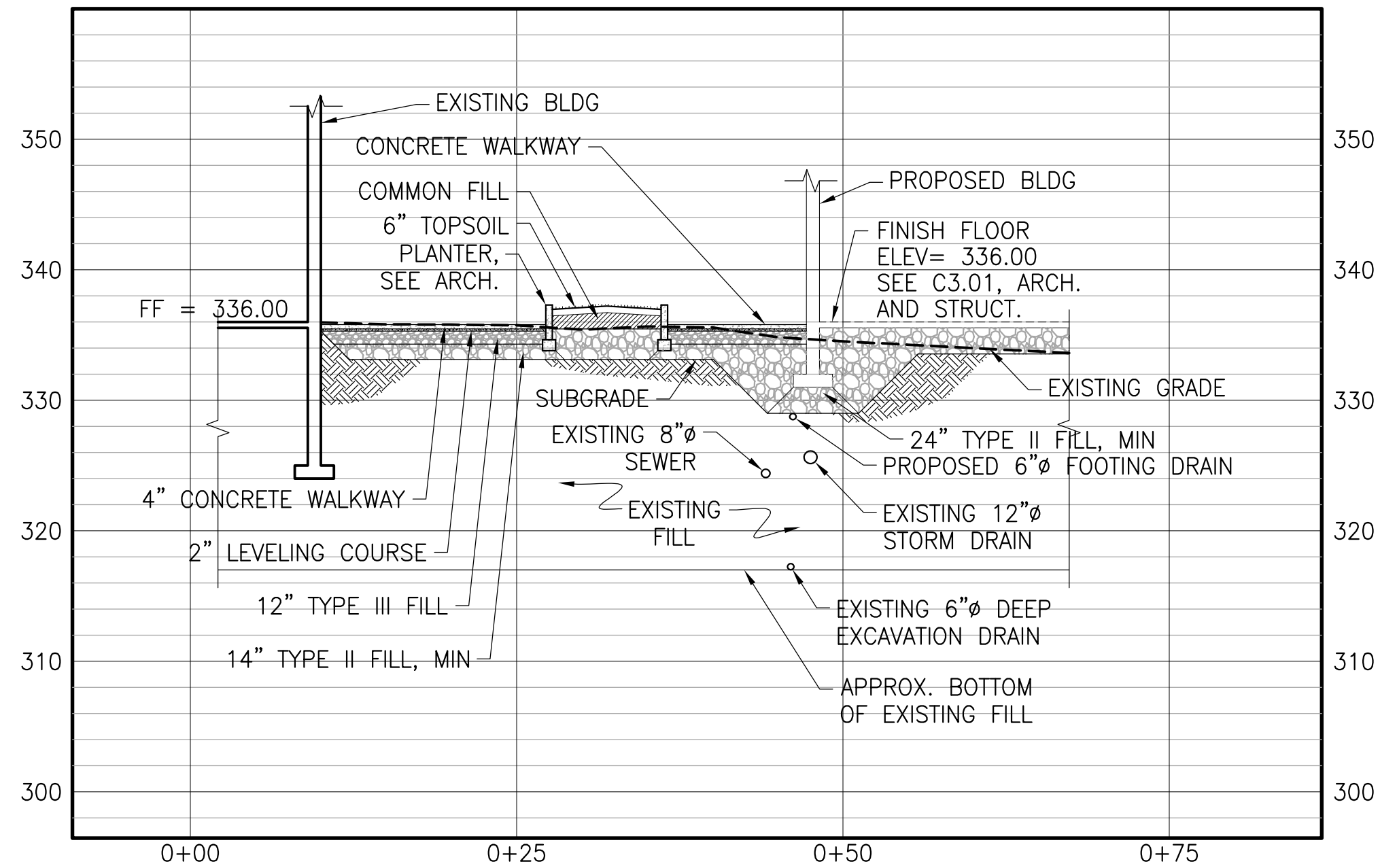
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C4.02

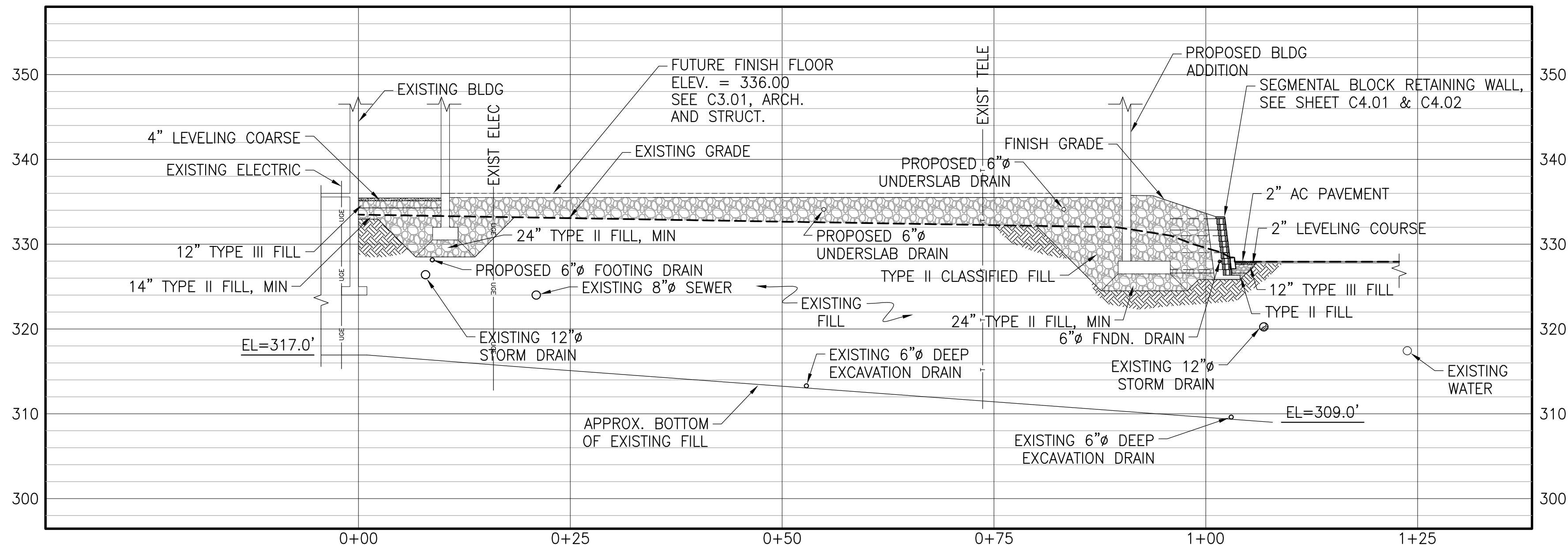
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PROFILE A



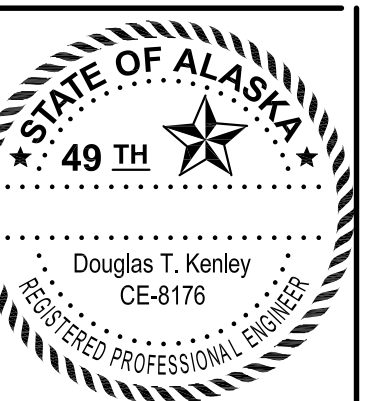
PROFILE B



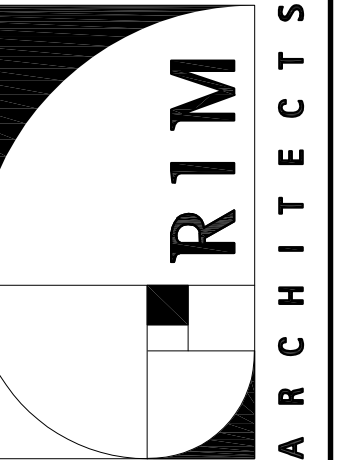
PROFILE C

SHEET NOTES:

1. GEOGRID SHALL BE PLACED ON SUBGRADE BENEATH ALL CONCRETE AND ASPHALT PAVED EXTERIOR SURFACES WHERE THERE WILL BE LESS THAN 4 FEET OF STRUCTURAL FILL BENEATH THE PAVEMENT.
2. LIMIT THE TOP 24" OF TYPE II FILL BENEATH BUILDING SLABS TO A 4" MINUS GRADATION.
3. INTERIOR BEAMS AND COLUMNS NOT SHOWN. SEE SHEET C3.02, STRUCTURAL AND ARCHITECTURAL FOR FINISH FLOOR REQUIREMENTS.



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EAST ADDITION AND ALTERATIONS – PHASE 2
HOMER, ALASKA
SECTIONS

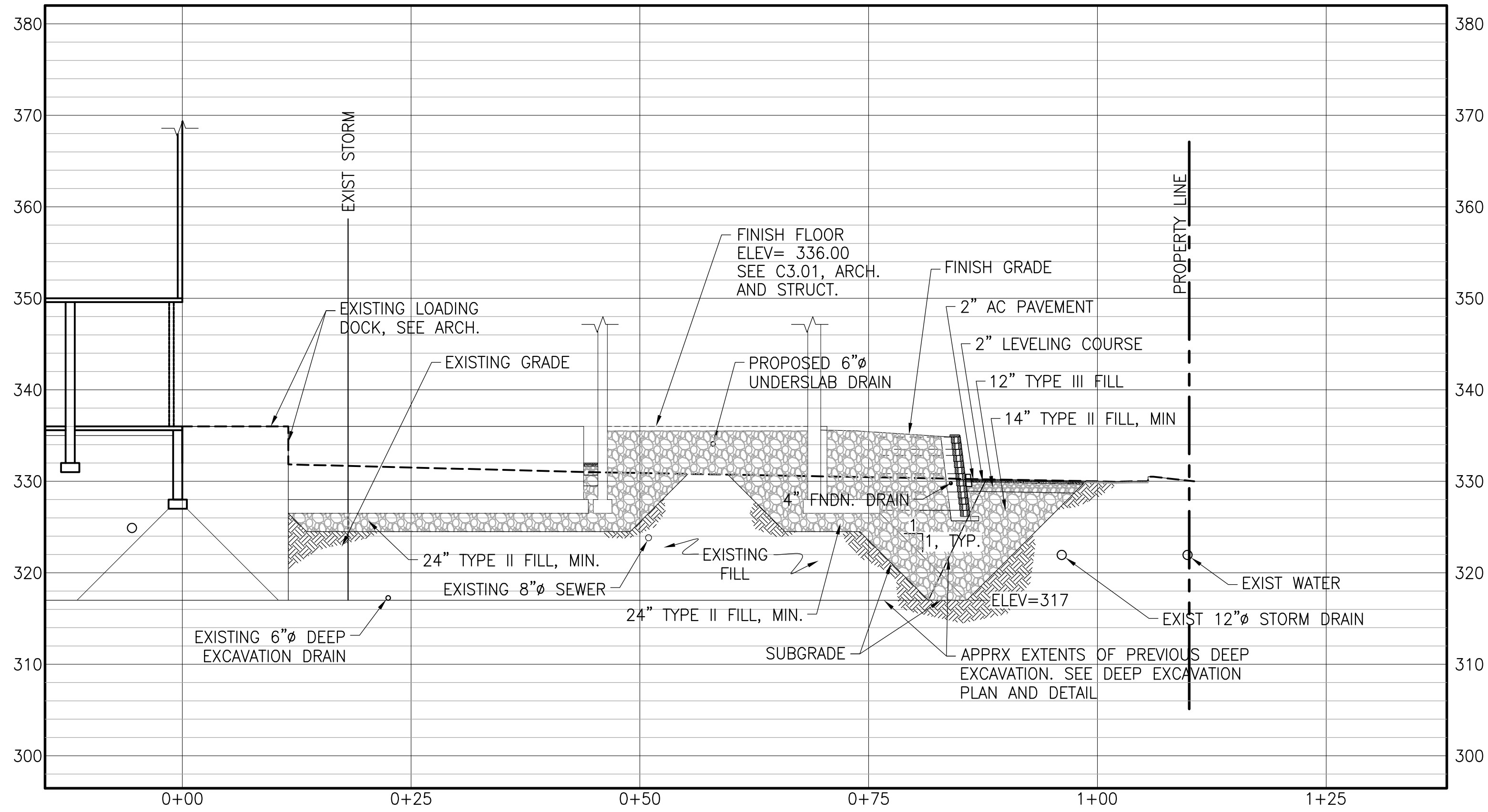
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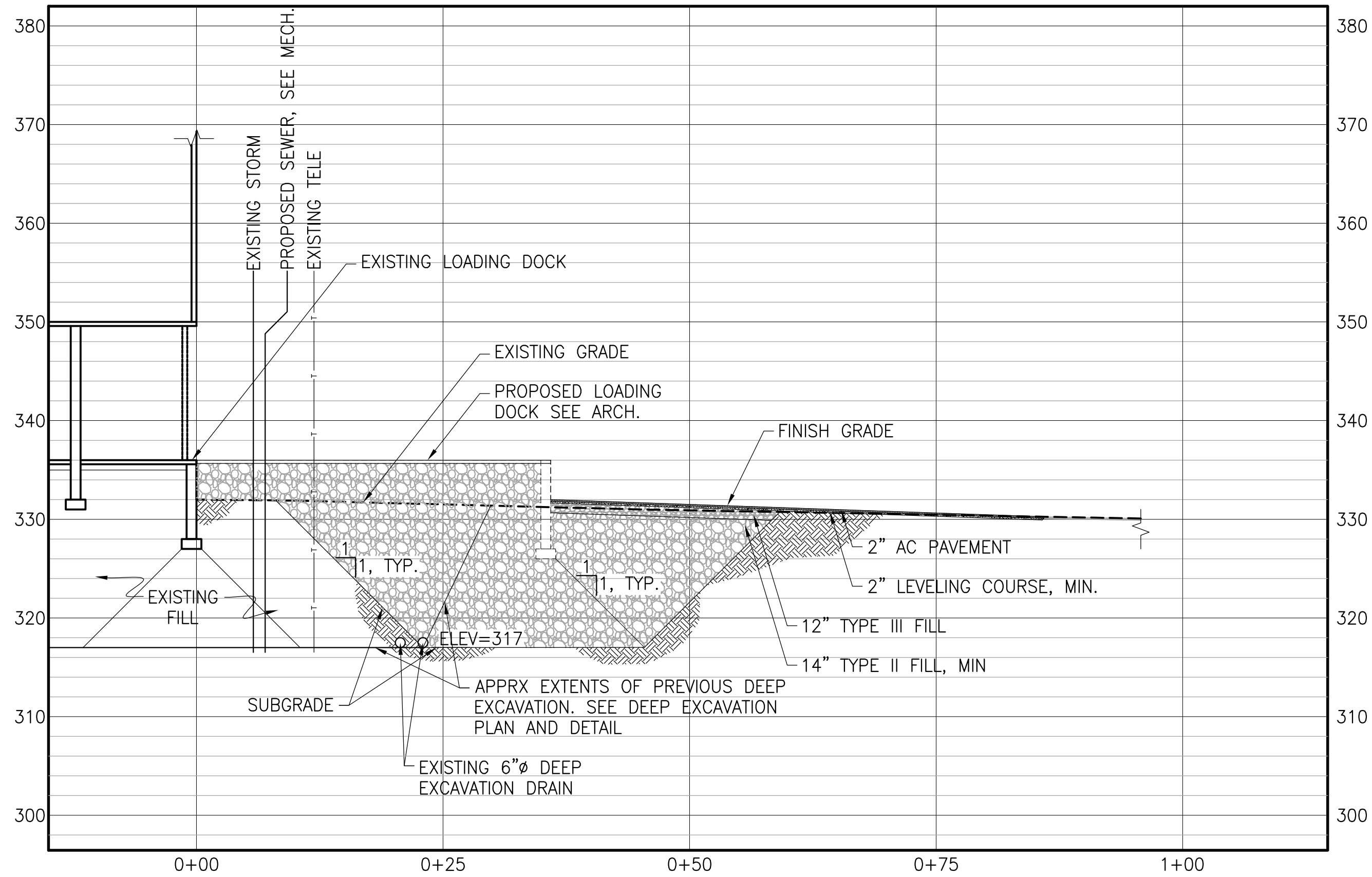
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C5.01

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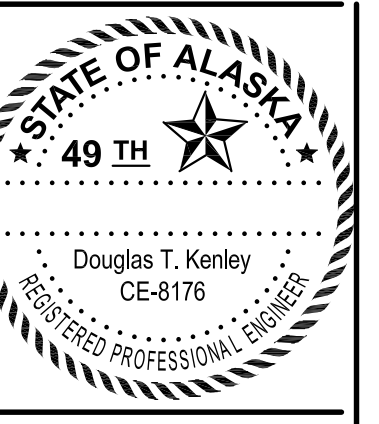
PROFILE D



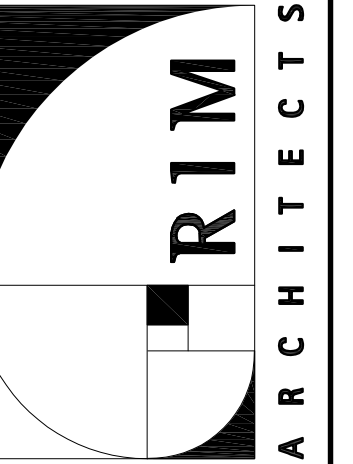
PROFILE E

SHEET NOTES:

1. GEOGRID SHALL BE PLACED ON SUBGRADE BENEATH ALL CONCRETE AND ASPHALT PAVED EXTERIOR SURFACES WHERE THERE WILL BE LESS THAN 4 FEET OF STRUCTURAL FILL BENEATH THE PAVEMENT.
2. LIMIT THE TOP 24" OF TYPE II FILL BENEATH BUILDING SLABS TO A 4" MINUS GRADATION.
3. INTERIOR BEAMS AND COLUMNS NOT SHOWN. SEE SHEET C3.02, STRUCTURAL AND ARCHITECTURAL FOR FINISH FLOOR REQUIREMENTS.



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